



HOTEL



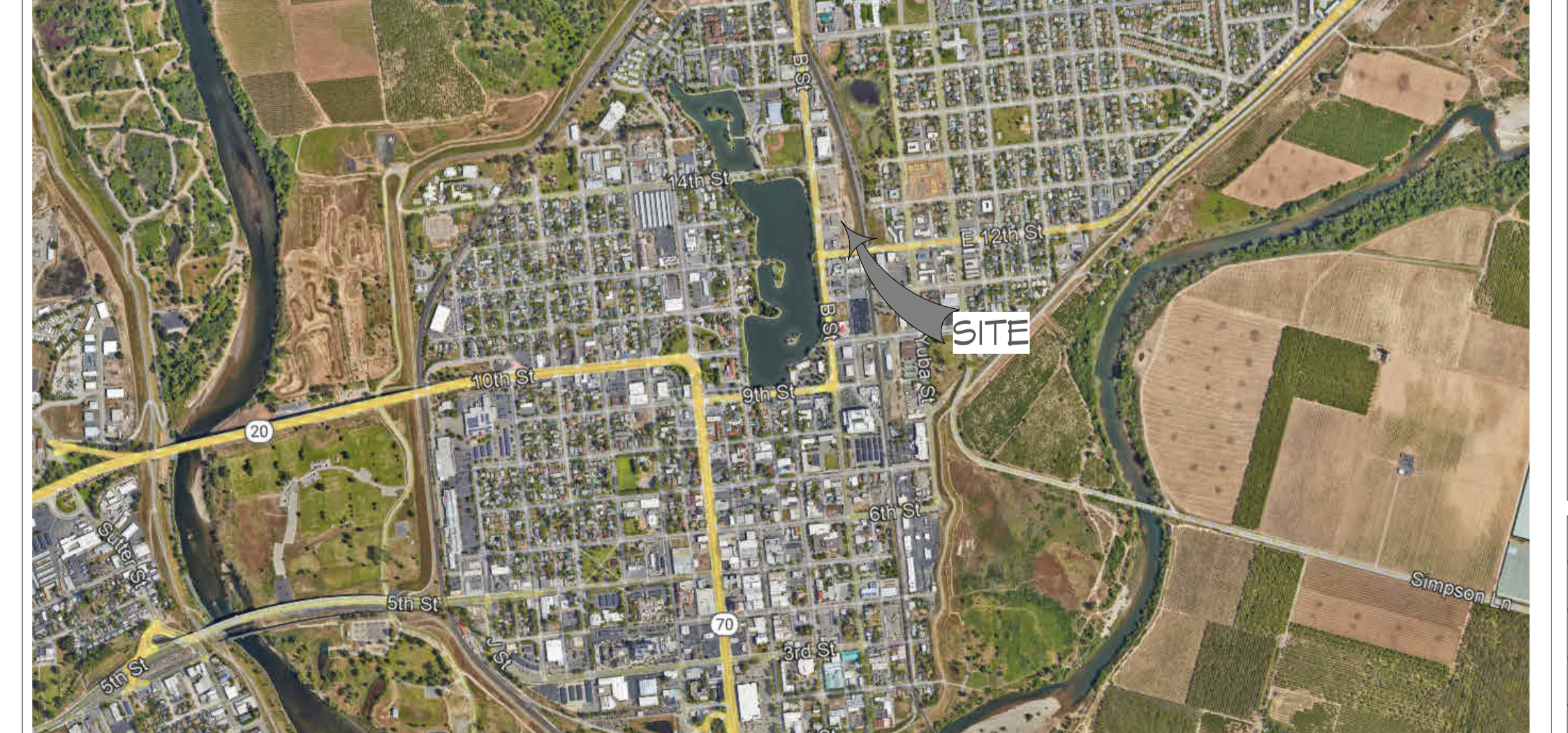
GROCERY MARKET



QUICK SERVICE RESTAURANT

PROJECT DATA		PROJECT CONTACTS	
PROJECT DESCRIPTION:	NEW HOTEL, GROCERY MARKET AND QSR WITH DRIVE THRU LANE W/ ASSOCIATED SITE WORK, UTILITIES, AND LANDSCAPING	<b>PROPERTY OWNER</b>	<b>LANDSCAPE ARCHITECT</b>
USE & ZONING:	C-3 - GENERAL COMMERCIAL M-1 - LIGHT INDUSTRIAL, HISTORIC PRESERVATION OVERLAY DISTRICT	CITY OF MARYSVILLE 526 G STREET MARYSVILLE, CA 95901 PHONE: (530) 149-3401	GARTH RUFFNER LANDSCAPE ARCHITECT 4120 DOUGLAS BLVD. SUITE 306, PMB 301 ROSEVILLE, CA 95746 PHONE: (916) 791-2516 ATTN: GARTH RUFFNER
JURISDICTION:	CITY OF MARYSVILLE	<b>DEVELOPER</b>	<b>CIVIL ENGINEER</b>
PARCEL NO.:	009-152-001, 009-152-002, 009-152-004, 009-152-005, 009-225-001, 009-225-003, 009-225-007, 009-225-008, 009-225-010, 009-225-011	GREEN RIVER HOLDINGS, LLC 837 JEFFERSON BLVD. WEST SACRAMENTO, CA 95691 PHONE: (415) 931-4044 ATTN: GALLIE HUFF	NORTHSTAR 111 MISSION RANCH BLVD CHICO, CA 95926 PHONE: (530) 843-1600 ATTN: RICH GUEVARRA
OCCUPANCY TYPE:	FUTURE TENANTS - GROUP A2	<b>ARCHITECT</b>	
SITE AREA:	HOTEL: 106,064 S.F. (2.43 ACRES) QSR: 32,393 S.F. (0.74 ACRES) GROCERY MARKET: 71,714 S.F. (1.78 ACRES) TOTAL: 210,171 S.F. (4.95 ACRES)	MCCANDLESS & ASSOCIATES ARCHITECTS, INC. 428 1/2 FIRST STREET WOODLAND, CA 95695 PHONE: (530) 662-9146 ATTN: DEBORAH WOODBURY	
AREA OF SITE COVERED BY BUILDINGS & PAVED SURFACES:	HOTEL: 88,143 S.F. QSR: 25,005 S.F. GROCERY MARKET: 61,851 S.F.	STORM WATER: CITY OF MARYSVILLE SANITARY SEWER: CITY OF MARYSVILLE ELECTRIC: PG&E SCHOOL/PARK DISTRICT: MARYSVILLE JOINT UNIFIED SCHOOL DISTRICT FIRE DEPARTMENT: MARYSVILLE FIRE DISTRICT WASTE MANAGEMENT: CITY OF MARYSVILLE TRANSPORTATION AGENCY: YUBA SUTTER TRANSIT AUTHORITY AIR QUALITY AGENCY: FEATHER RIVER AIR QUALITY MANAGEMENT DISTRICT	
BUILDING AREA:	HOTEL: 62,620 S.F. QSR: 2,500 S.F. GROCERY MARKET: 16,000 S.F.	<b>SHEET INDEX</b>	
ALLOWABLE BUILDING HEIGHT:	M-1: 2.5 STORIES / 35' C-3: 8 STORIES / 85'	TO.1 PROJECT DATA T1.1 CONTEXT PHOTOS TOPO 1/3 TOPOGRAPHIC SURVEY TOPO 2/3 TOPOGRAPHIC SURVEY TOPO 3/3 TOPOGRAPHIC SURVEY G2 UTILITY SHEET A1.0 PROPOSED SITE PLAN A2.1 GROCERY MARKET FLOOR PLAN A2.2 GROCERY MARKET ROOF PLAN A2.3 QSR FLOOR & ROOF PLANS A4.1 GROCERY MARKET ELEVATIONS A4.2 QSR ELEVATIONS A4.3 SITE DETAILS 1 PERSPECTIVE 2 SITE PLAN 3 HOTEL LEVEL 1 AND 2 4 HOTEL LEVEL 3, 4 AND ROOF 5 ELEVATIONS 6 ELEVATIONS 7 BUILDING SECTIONS 8 ROOM FLOOR PLANS 9 ROOM FLOOR PLANS 10 PERSPECTIVE VIEWS 11 TRASH ENCLOSURE 12 CONTEXT PHOTOS 13 MATERIAL BOARD LE1 SITE LIGHTING PHOTOMETRICS LE2 LUMINAIRES L100 LANDSCAPE PLAN	
BUILDING HEIGHT:	HOTEL: 49'-6" 4 STORIES QSR: 20'-0" 1 STORY GROCERY MARKET: 32'-0" 1 STORY	PARKING STALLS REQUIRED:	
SETBACKS:	REQUIRED FRONT YARD: 5', EXCEPT 15' FOR A DISTANCE OF 25' FROM AN R DISTRICT BOUNDARY. YARD MUST BE LANDSCAPED AND NOT USED FOR PARKING OR LOADING. UPPER STORY MAY OVERHANG IF THERE IS A VERTICAL CLEARANCE OF 12'. STREET SIDE YARD: SAME AS FRONT YARD, EXCEPT NO SIDE YARD ADJACENT TO AN ALLEY. REAR & INT. SIDE YARD: NONE, EXCEPT 5' WHEN ABUTTING RESIDENTIAL & A 6' MASONRY WALL SHALL BE CONSTRUCTED ALONG THE PROPERTY LINE.	QSR RESTAURANTS AND BARS, INCLUDING THOSE WITH DANCING, SHALL PROVIDE AT LEAST ONE PARKING SPACE FOR EVERY 60 S.F. OF SEATING AND/OR DINING AREA AND ONE SPACE FOR EVERY 100 S.F. OF KITCHEN AND SERVING COUNTER AREA. DINING AREA: 460 S.F. = 8 SPACES OUTDOOR SEATING AREA: 400 S.F. = 4 SPACES TOTAL = 12 SPACES  GROCERY MARKET GENERAL RETAIL SALES INCLUDING DEPARTMENT AND DISCOUNT STORES NOT LOCATED IN A SHOPPING CENTER SHALL PROVIDE AT LEAST ONE PARKING SPACE FOR EACH 250 S.F. OF GROSS FLOOR AREA. 16,000 S.F. / 250 S.F. = 64 SPACES  HOTEL 1 PKG. SPACE REQ'D FOR EA. SLEEPING ROOM, SUITE OF ROOMS OR HOUSEKEEPING UNIT WHERE OTHER PRINCIPAL USES, SUCH AS RESTAURANTS, BARS, AND MEETING ROOMS, ARE LOCATED ON THE PREMISES, THE PRINCIPAL USE REQUIRING THE GREATEST AMOUNT OF PARKING SHALL PROVIDE ONE HUNDRED PERCENT OF THE REQUIRED PARKING SPACES, AND THE OTHER USES SHALL PROVIDE IN ADDITION AT LEAST SEVENTY PERCENT OF THE PARKING SPACES WHICH WOULD BE REQUIRED IF THESE USES WERE BY THEMSELVES. ROOM + HOUSEKEEPING UNITS = 117 SPACES 3,009 S.F. OF ASSEMBLY SPACES = 24 SPACES PATIO + PREP KITCHEN SPACES = 14 SPACES TOTAL = 155 SPACES  TOTAL SPACES REQUIRED = 231 SPACES	
LANDSCAPE AREA:	+/- 36,835 S.F.	PARKING STALLS PROVIDED:	
LANDSCAPING REQUIREMENTS:	ONE TREE FOR EVERY 300 SF OF LANDSCAPED AREA: 36,835 S.F. / 300 = 123 TREES (MIN.) ONE TREE FOR EVERY 10 PARKING SPACES: 268 PARKING SPACES / 10 = 27 TREES (MIN.) SEE LANDSCAPE PLAN L100 FOR ADDITIONAL INFORMATION	QSR TOTAL SPACES PROVIDED = 10 GROCERY MARKET TOTAL SPACES PROVIDED = 81 HOTEL TOTAL SPACES PROVIDED = 160  TOTAL SPACES PROVIDED = 251	
		EV SPACES REQUIRED / PROVIDED FOR HOTEL PER 2022 CGSBC 4.106.4.2.2: EV CAPABLE FUTURE LEVEL 2 EVSE (10% OF TOTAL PARKING SPACES PROVIDED): 160 x 0.10 = 16 REQUIRED / 16 PROVIDED EV READY LOW POWER LEVEL 2 EVSE RECEPTACLES (25% OF TOTAL PARKING SPACES PROVIDED): 160 x 0.25 = 40 REQUIRED / 40 PROVIDED EV CHARGERS LEVEL 2 EVSE (5% OF TOTAL PARKING SPACES PROVIDED): 160 x 0.05 = 8 REQUIRED / 8 PROVIDED	
		EV SPACES REQUIRED / PROVIDED FOR RETAIL PER 2022 CGSBC TABLE 5.106.5.3.1: EV CAPABLE (INFRASTRUCTURE ONLY): 11 - 4 EVSE (SEE BELOW) = 13 PROVIDED EV CHARGERS LEVEL 2 EVSE: 4 REQUIRED (INCLUDED ABOVE) / 6 PROVIDED EVCS FOR MED/HEAVY-DUTY VEHICLES (FOR GROCERY ONLY) REQUIRED: 1 REQUIRED / 1 PROVIDED	

EV SPACES REQUIRED / PROVIDED FOR HOTEL PER 2022 CGSBC 4.106.4.2.2: EV CAPABLE FUTURE LEVEL 2 EVSE (10% OF TOTAL PARKING SPACES PROVIDED): 160 x 0.10 = 16 REQUIRED / 16 PROVIDED EV READY LOW POWER LEVEL 2 EVSE RECEPTACLES (25% OF TOTAL PARKING SPACES PROVIDED): 160 x 0.25 = 40 REQUIRED / 40 PROVIDED EV CHARGERS LEVEL 2 EVSE (5% OF TOTAL PARKING SPACES PROVIDED): 160 x 0.05 = 8 REQUIRED / 8 PROVIDED	EV SPACES REQUIRED / PROVIDED FOR RETAIL PER 2022 CGSBC TABLE 5.106.5.3.1: EV CAPABLE (INFRASTRUCTURE ONLY): 11 - 4 EVSE (SEE BELOW) = 13 PROVIDED EV CHARGERS LEVEL 2 EVSE: 4 REQUIRED (INCLUDED ABOVE) / 6 PROVIDED EVCS FOR MED/HEAVY-DUTY VEHICLES (FOR GROCERY ONLY) REQUIRED: 1 REQUIRED / 1 PROVIDED
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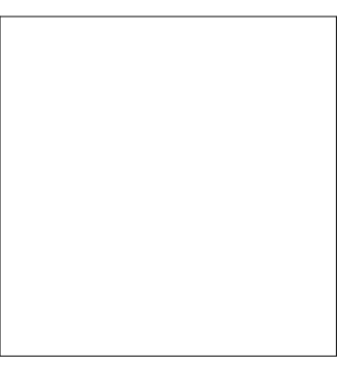


VICINITY MAP

REVISIONS		
#	Date	Description

PROJECT FOR:  
**B STREET HOTEL MARYSVILLE**  
B Street, between 12th & 14th  
Marysville, CA

**MCCANDLESS & ASSOCIATES ARCHITECTS, INC.**  
428 1/2 FIRST STREET, SUITE 204  
WOODLAND, CA 95695  
www.mccandlessarch.com  
PH: (530) 662-9146



PROJECT DATA  
DESIGN REVIEW

DRAWN	MAA
CHECKED	MAA
DATE	01/09/2024
SCALE	12" = 1'-0"
JOB #	22-165
SHEET	TO.1



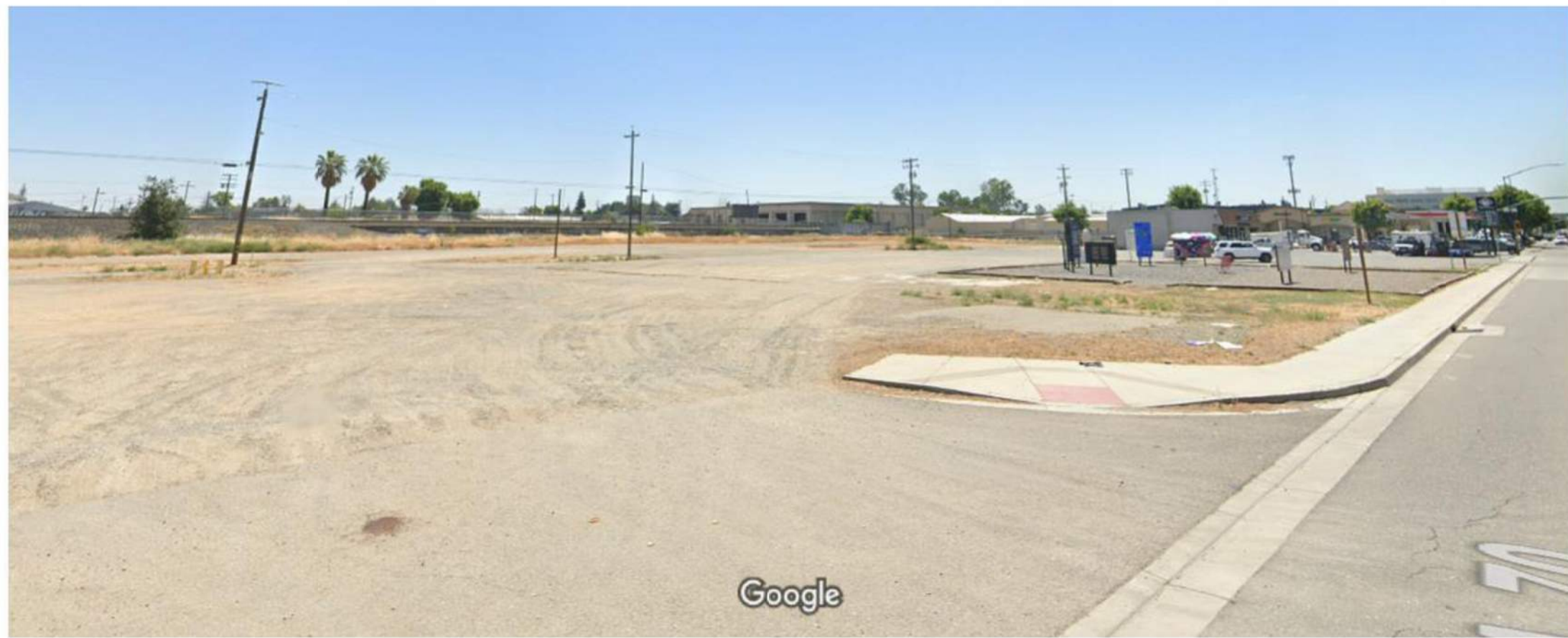




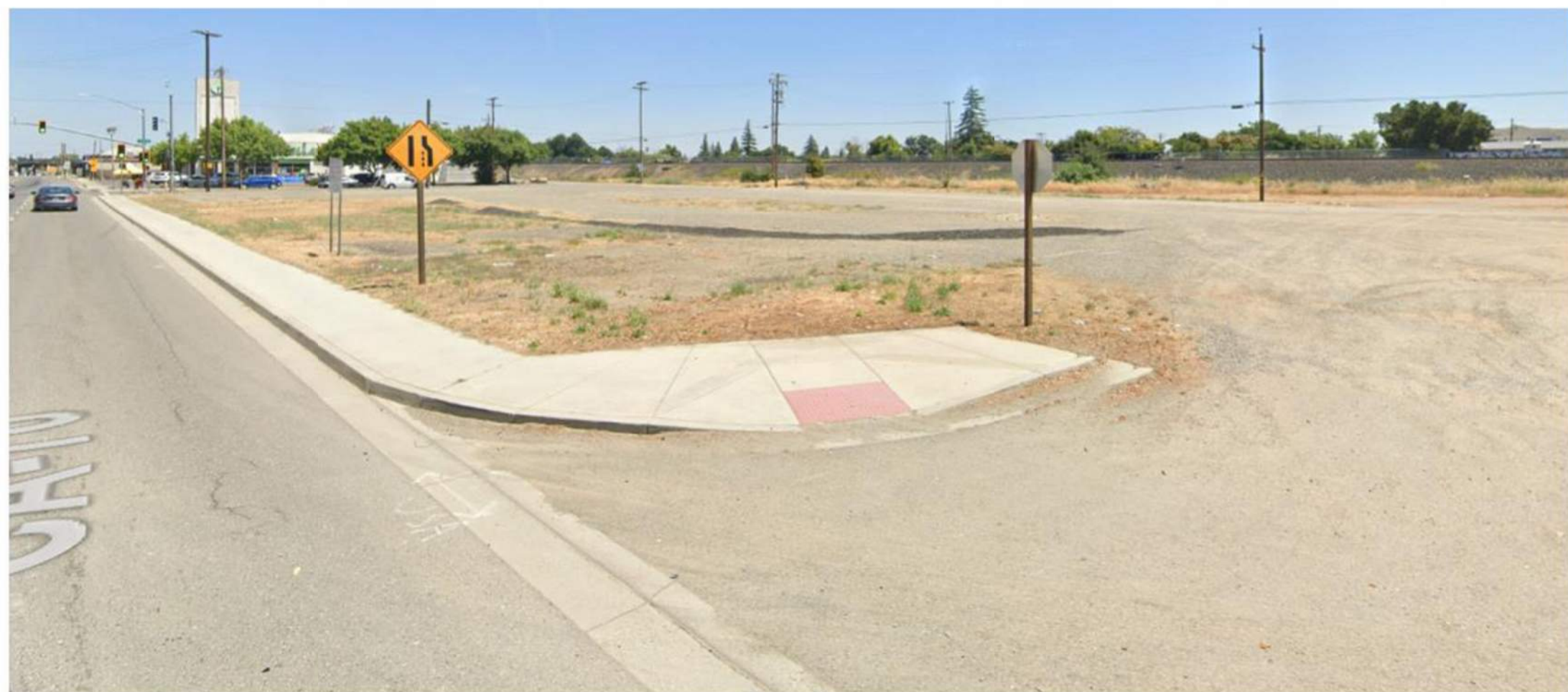
2 14th STREET LOOKING SW



3 14th STREET LOOKING SE



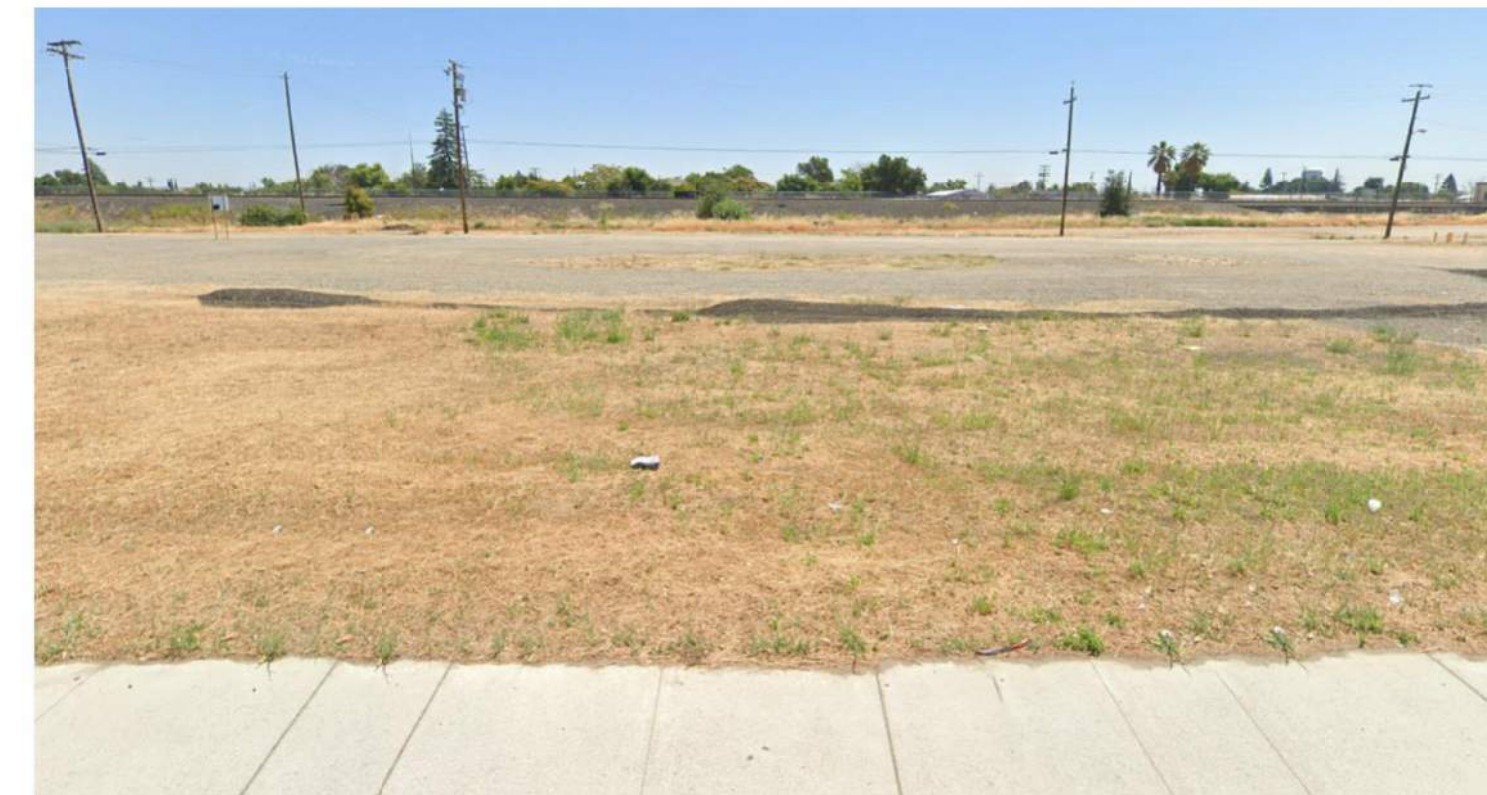
4 B STREET LOOKING SE



5 B STREET LOOKING NE



10 AERIAL OF ADJACENT PROPERTIES



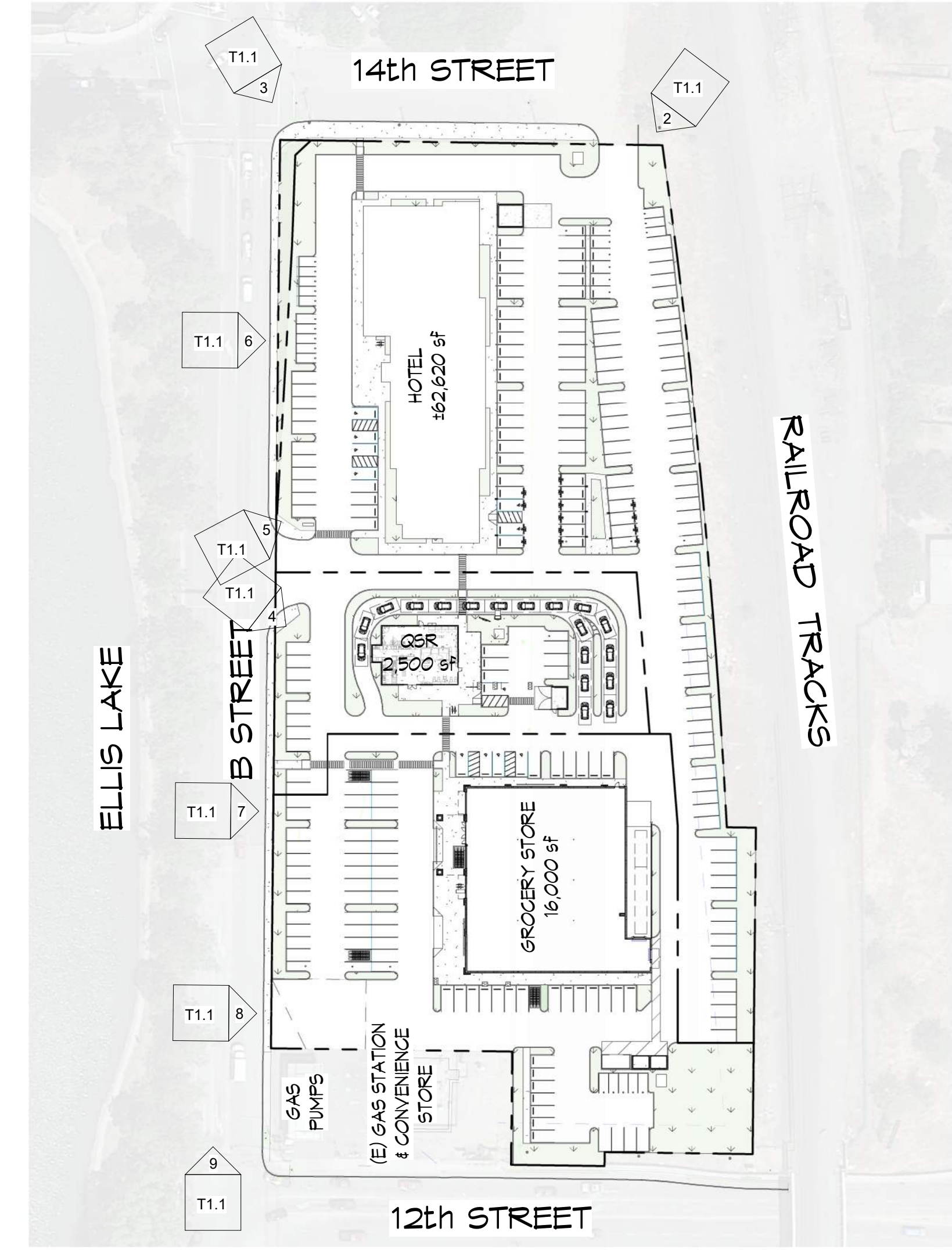
6 B STREET LOOKING EAST



8 B STREET LOOKING EAST



7 B STREET LOOKING EAST



1 PHOTO KEY SITE PLAN  
1" = 80'-0"



9 B STREET LOOKING NORTH

REVISIONS		
#	Date	Description

PROJECT FOR:  
**B STREET HOTEL MARYSVILLE**  
B Street, between 12th & 14th  
Marysville, CA

**MCCANDLESS & ASSOCIATES ARCHITECTS, INC.**  
425 1/2 FIRST STREET, SUITE 204  
WOODLAND, CA 95695  
www.mccandlessarch.com  
PH ▲ (530) 662-9146

CONTEXT PHOTOS  
DESIGN REVIEW

DRAWN MAA  
CHECKED MAA  
DATE 01/09/2024  
SCALE As indicated  
JOB # 22-165  
SHEET **T1.1**

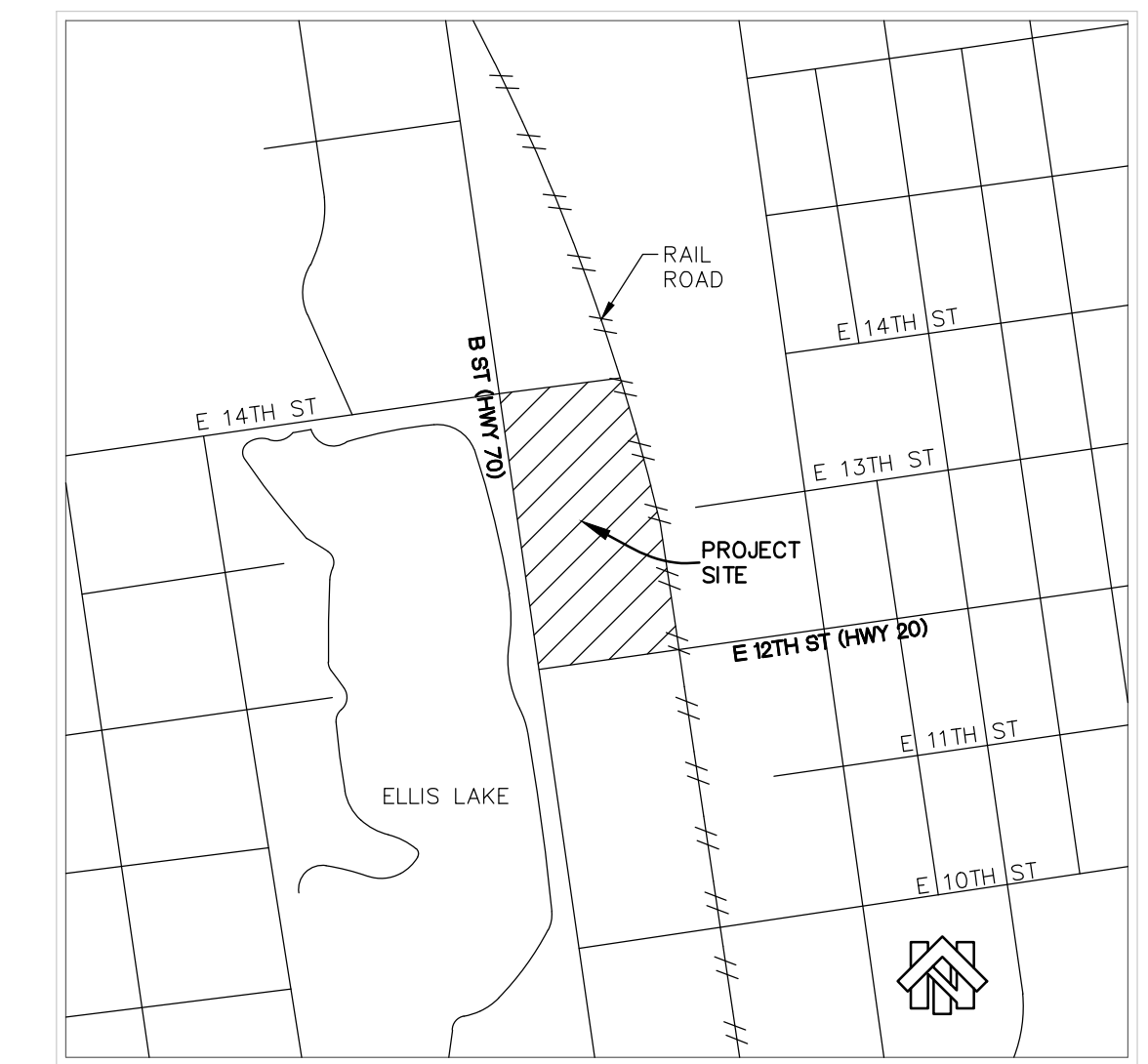
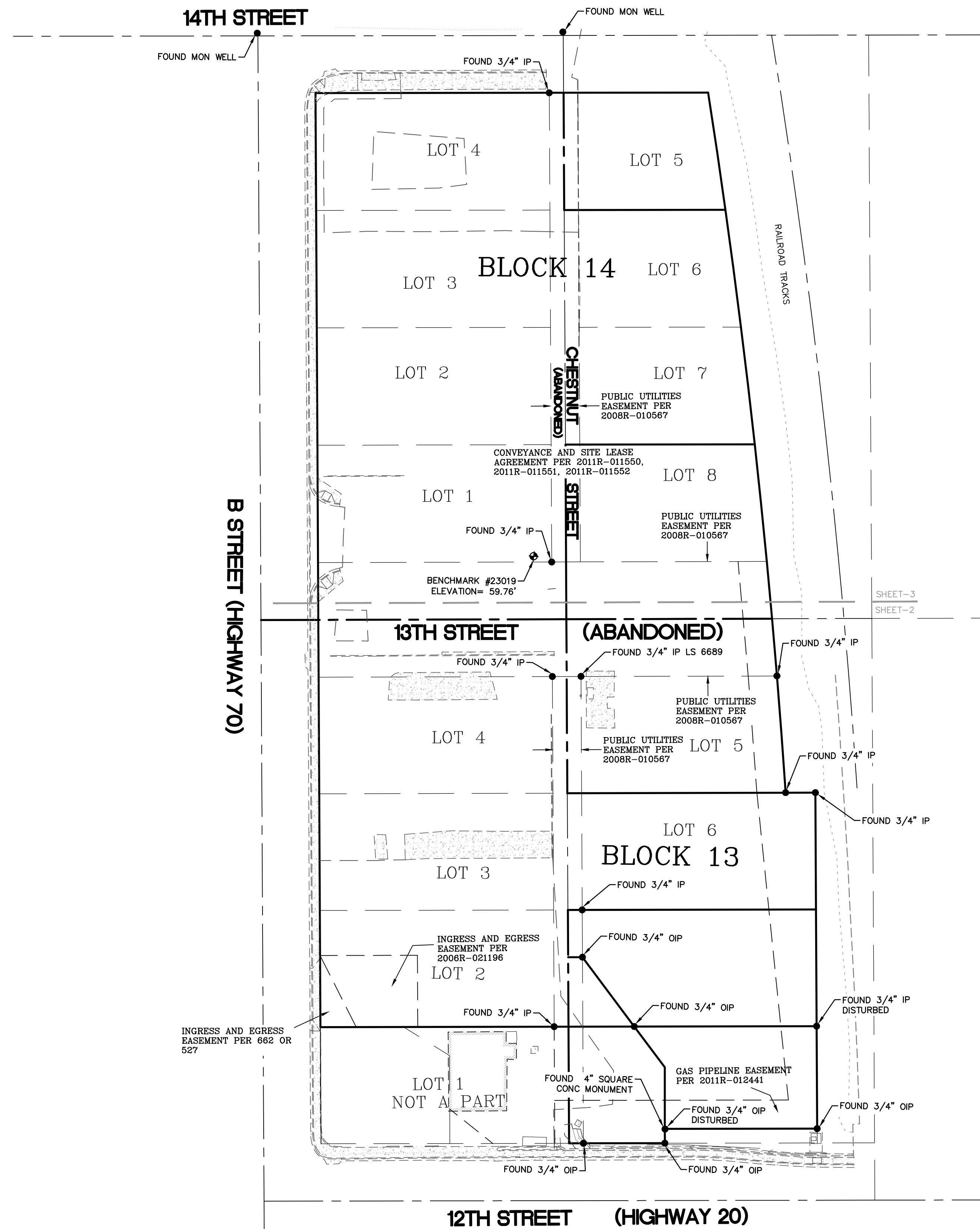


**TOPOGRAPHIC SURVEY NOTES**

1. THIS IS NOT A BOUNDARY SURVEY. THE PARCEL LINES SHOWN HEREON ARE BASED ON BOOK 89 OF MAPS, AT PAGE 22, AND THAT PRELIMINARY REPORT PREPARED BY PLACER TITLE COMPANY, DATED JANUARY 26, 2023, ORDER NUMBER P-583285. NO LIABILITY IS ASSUMED BY NORTHSTAR FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES AND DISCREPANCIES IN BOUNDARY OR TITLE DEFECTS.
2. PHYSICAL ITEMS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE LIMITED TO THOSE ITEMS VISIBLE BY SURFACE INSPECTION AS OF THE DATE OF THIS SURVEY. SUBSURFACE STRUCTURES, IF ANY, ARE NOT SHOWN.
3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SURFACE FEATURES AND SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. NORTHSTAR ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED.
4. BENCHMARK ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS ESTABLISHED BY A POST-PROCESSED GNSS SURVEY AND OPUS SOLUTION DATED MARCH 24, 2023 ON CONTROL POINT #23019. ELEVATION = 59.76' (NAVD88 DATUM)
5. FIELD SURVEY COMPLETED ON: MARCH 21, 2023

**ABBREVIATIONS**

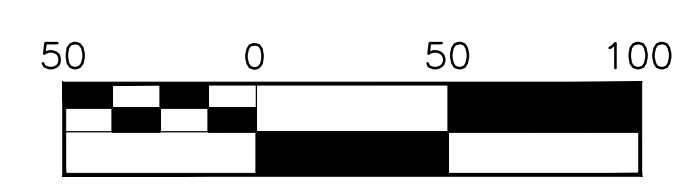
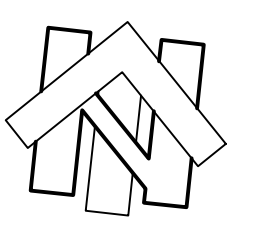
AC	ASPHALT CONCRETE
AP	ANGLE POINT
APN	ASSESSOR'S PARCEL NUMBER
BLDG	BUILDING
BCR	BUILDING CORNER
C	CONCRETE
CC	CONCRETE CORNER
CE	CONCRETE EDGE
CONC	CONCRETE
CMP	CORRUGATED METAL PIPE
CTL	CONTROL
DWY	DRIVEWAY
EB	ELECTRIC BOX
EM	ELECTRIC METER
EPAN	ELECTRIC PANEL
FC	FACE OF CURB
FF	FINISHED FLOOR
G	GAS
GB	GRADE BREAK
GP	GRAY PINE
GPAN	GAS PANEL
GM	GAS METER
HB	HOSE BIB
HCR	HANDICAP RAMP
ICV	IRRIGATION CONTROL VALVE BOX
INV	INVERT
IP	IRON PIPE
MOC	MIDDLE OF CURVE
NS	NORTHSTAR
OH	OVER HEAD
OIP	OPEN IRON PIPE
PC	POINT OF CURVATURE
POC	POINT ON CURVE
PVC	POLYVINYL CHLORIDE PIPE
RB	REBAR
SD	STORM DRAIN
SDDI	STORM DRAIN INLET
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSCO	SANITARY CLEANOUT
SSMH	SANITARY MANHOLE
STL	STEEL
TBC	TOP BACK OF CURB
TR	TREE
TBWL	TOP BACK OF WALL
W	WATER
WM	WATER METER



**VICINITY MAP**  
NOT TO SCALE

**LEGEND**

- ◆ PROJECT BENCHMARK
- FOUND MONUMENT AS NOTED PER 89 OF MAPS AT PAGE 22
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊙ EXISTING STORM DRAIN MANHOLE
- ⊙ EXISTING STORM DRAIN INLET
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING UTILITY VAULT/BOX AS NOTED
- EXISTING UTILITY POLE
- ⊙ EXISTING TRAFFIC SIGNAL
- ⊙ EXISTING STREET LIGHT
- ⊙ EXISTING GUY ANCHOR
- EXISTING BOLLARD
- ▨ EXISTING BUILDING
- ▨ EXISTING CONCRETE
- EXISTING EDGE OF PAVEMENT
- EXISTING UNDERGROUND SANITARY SEWER
- EXISTING UNDERGROUND STORM DRAIN
- EXISTING UNDERGROUND WATER LINE
- EX-G EXISTING UNDERGROUND GAS LINE
- EX-T EXISTING UNDERGROUND TELECOMMUNICATION LINE
- E-OH EXISTING OVERHEAD UTILITY
- EXISTING TOP OF BANK
- EXISTING TOE OF BANK
- EXISTING GRADE BREAK
- EXISTING FLOWLINE
- 60 EXISTING MAJOR CONTOUR AT 5' INTERVALS
- 61 EXISTING MINOR CONTOUR AT 1' INTERVALS
- PROPERTY LINE
- OUTSIDE PROPERTY LINE
- CENTERLINE OF ROAD WAY



Designed:	Revision	Date	By
Drawn By: JT			
Approved:			
Date: 4/10/2023			

**NORTHSTAR**  
111 MISSION RANCH BLVD, SUITE 100, CHICO, CA 95926  
PHONE: (530) 893-1600 www.northstareng.com

**ENGSTROM PROPERTIES, INC**  
B STREET (HIGHWAY 70)  
MARYSVILLE, CALIFORNIA

TOPOGRAPHIC SURVEY			
B STREET HOTEL			
APN Number	Job Number 23-019	Scale 1" = 50' Horz. NA Vert.	Sheet 1 Of 3



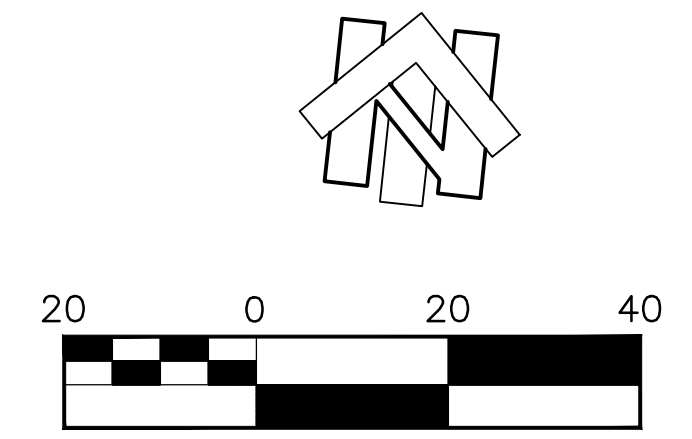
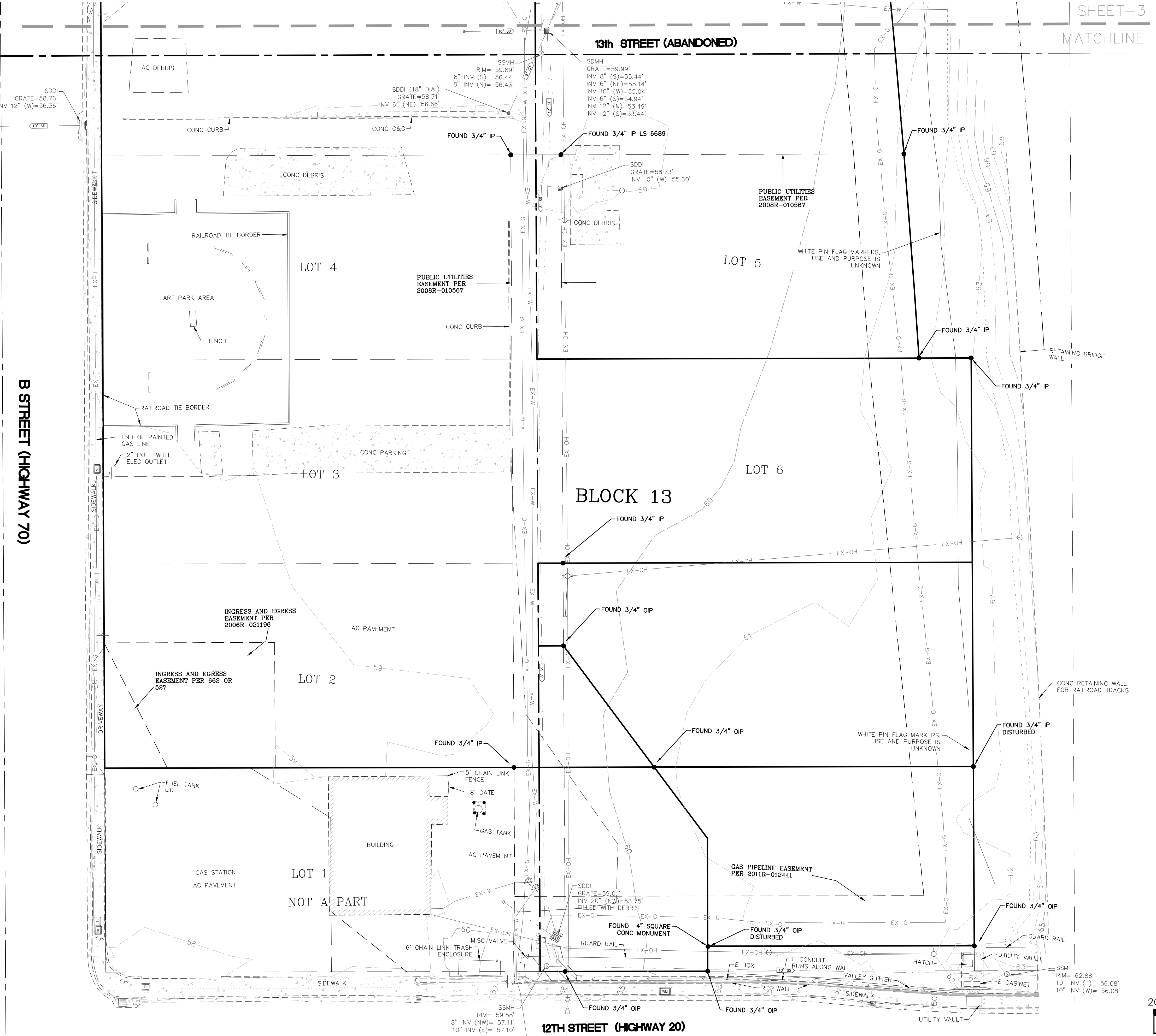
13th STREET (ABANDONED)

12TH STREET (HIGHWAY 20)

B STREET (HIGHWAY 70)

**LEGEND**

- ◆ PROJECT BENCHMARK
- FOUND MONUMENT AS NOTED PER 89 OF MAPS AT PAGE 22
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊙ EXISTING STORM DRAIN MANHOLE
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- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING UTILITY VAULT/BOX AS NOTED
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- ⊙ EXISTING GUY ANCHOR
- ⊙ EXISTING BOLLARD
- ▭ EXISTING BUILDING
- ▭ EXISTING CONCRETE
- EXISTING EDGE OF PAVEMENT
- EXISTING UNDERGROUND SANITARY SEWER
- EXISTING UNDERGROUND STORM DRAIN
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- EX-G --- EXISTING UNDERGROUND GAS LINE
- EX-T --- EXISTING UNDERGROUND TELECOMMUNICATION LINE
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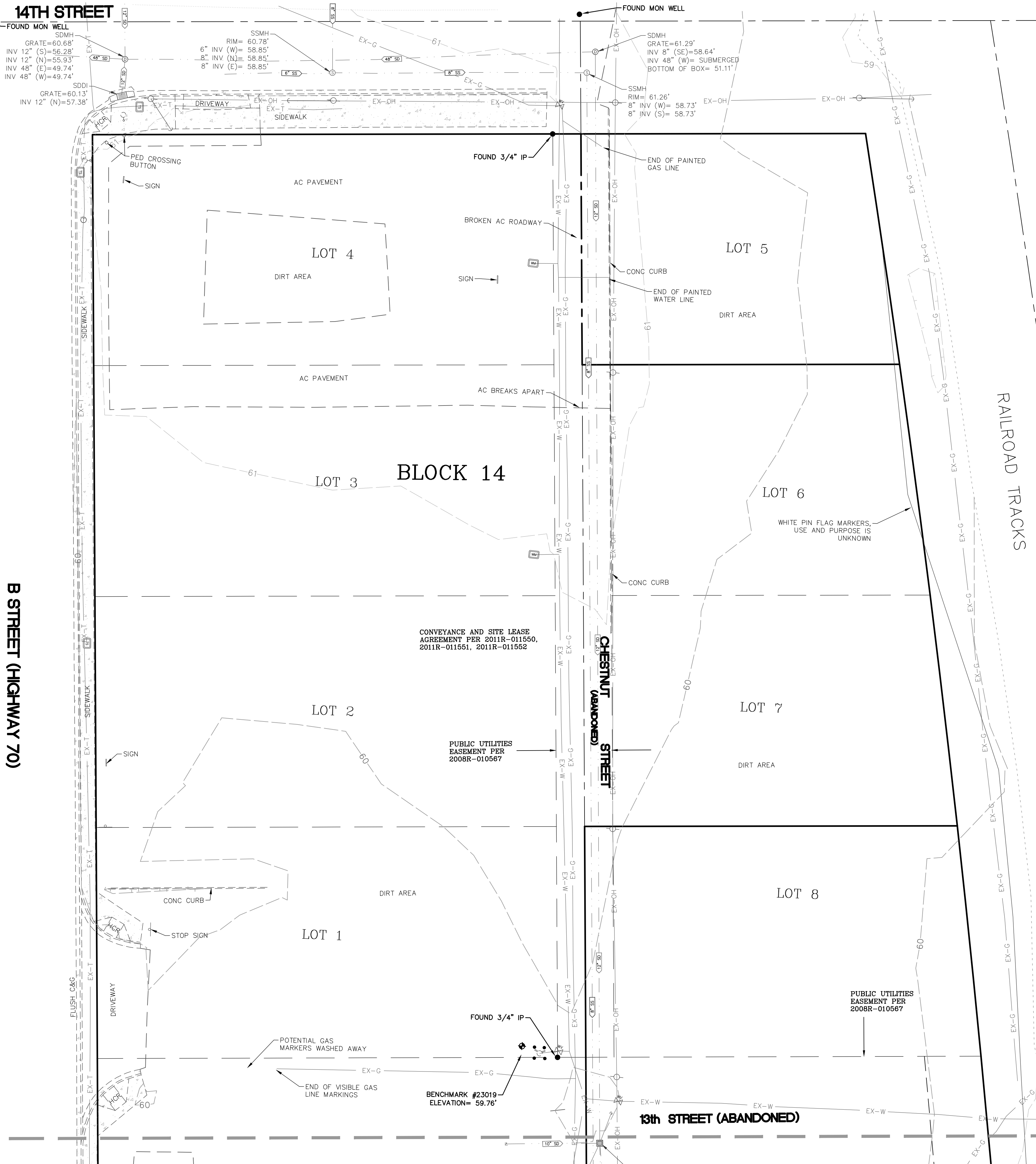
Designed:	Revision	Date	By
Drawn By: JT			
Approved:			
Date: 4/10/2023			

**NORTHSTAR**  
111 MISSION RANCH BLVD. SUITE 100, CHICO, CA 95926  
PHONE: (530) 893-1600 www.northstareng.com

**ENGSTROM PROPERTIES, INC**  
B STREET (HIGHWAY 70)  
MARYSVILLE, CALIFORNIA

TOPOGRAPHIC SURVEY			
B STREET HOTEL			
APN Number	Job Number 23-019	Scale 1"=20' Horz. NA Vert.	Sheet 2 Of 3





**LEGEND**

- ◆ PROJECT BENCHMARK
- FOUND MONUMENT AS NOTED PER 99 OF MAPS AT PAGE 22
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊙ EXISTING STORM DRAIN MANHOLE
- ⊙ EXISTING STORM DRAIN INLET
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING UTILITY VAULT/BOX AS NOTED
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- ⊙ EXISTING TRAFFIC SIGNAL
- ⊙ EXISTING STREET LIGHT
- ⊙ EXISTING GUY ANCHOR
- EXISTING BOLLARD
- ▨ EXISTING BUILDING
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- OUTSIDE PROPERTY LINE
- CENTERLINE OF ROAD WAY



Designed:	Revision	Date	By
Drawn By: JT			
Approved:			
Date: 4/10/2023			

**NORTHSTAR**

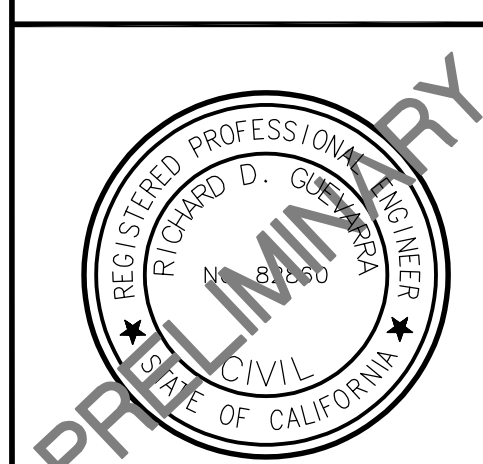
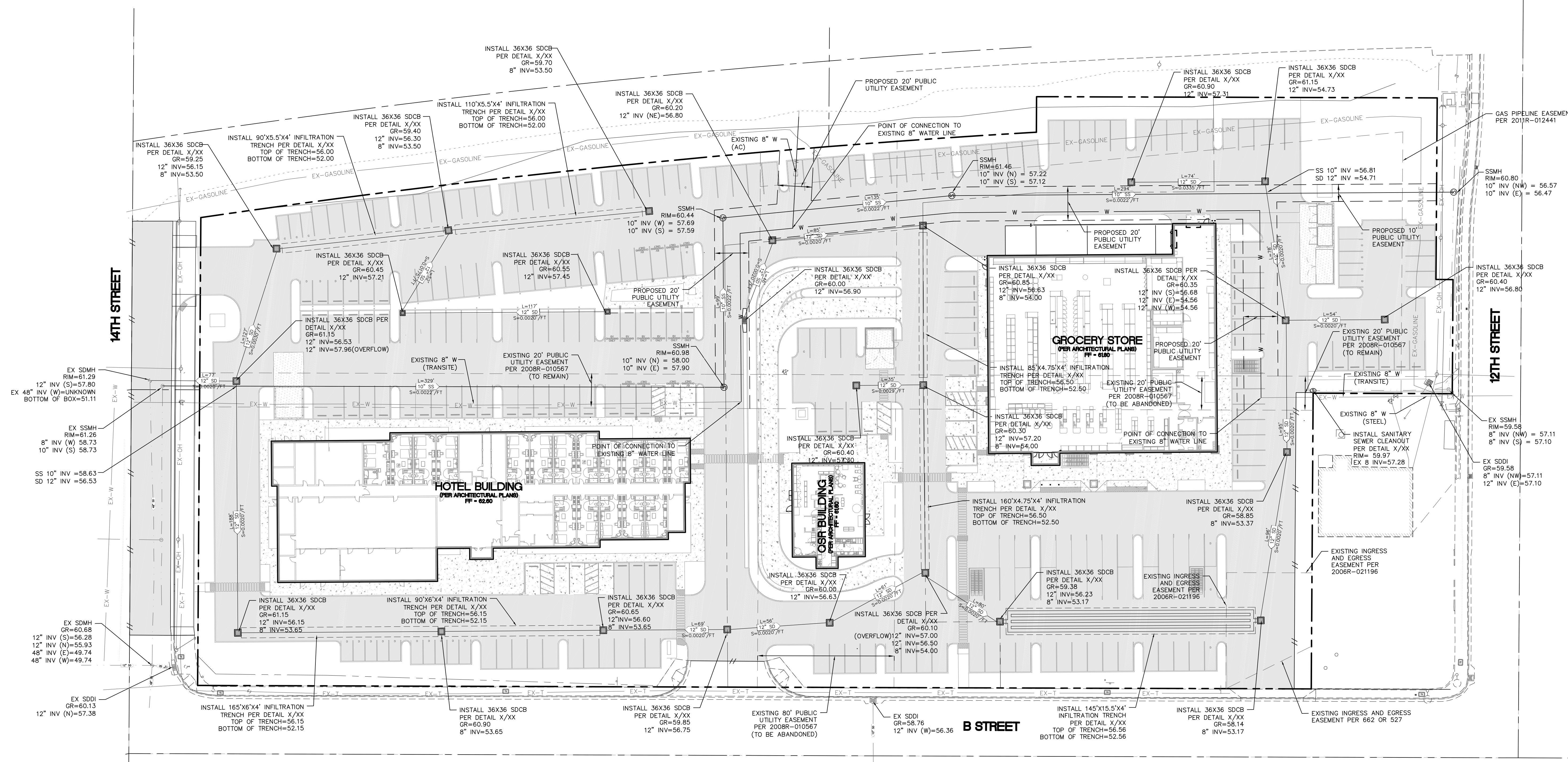
111 MISSION RANCH BLVD. SUITE 100, CHICO, CA 95926  
PHONE: (530) 893-1600 www.northstareng.com

**ENGSTROM PROPERTIES, INC**  
B STREET (HIGHWAY 70)  
MARYSVILLE, CALIFORNIA

**TOPOGRAPHIC SURVEY**  
**B STREET HOTEL**

APN Number	Job Number 23-019	Scale 1"=20' Horz. NA Vert.	Sheet 3 Of 3
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Designed:	Revision	Date	By
RDG			
Drawn By:			
KKE			
Approved:			
Date:			
JANUARY 2024			



ENGSTROM PROPERTIES, INC.  
B STREET  
MARYSVILLE, CALIFORNIA

UTILITY PLAN			
B STREET - MARYSVILLE			
APN Number 000-000-000	Job Number 23-019	Scale 1" = 30' Horz. N/A Vert.	Sheet <b>C5</b> Of <b>C9</b>



SITE PLAN LEGEND:

- (E) PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED LANDSCAPED AREAS, SEE LANDSCAPE PLAN

SITE PLAN GENERAL NOTES:

1. SEE TOPOGRAPHIC SURVEY SHEETS FOR EXISTING CONDITIONS AND EASEMENTS

PARKING REQUIREMENTS

NUMBER OF SPACES REQUIRED BY USE:

GENERAL RETAIL  
1 PKG. SPACE REQ'D FOR EA. 250 S.F. OF GROSS FLR. AREA

RESTAURANTS  
1 PKG. SP. REQ'D PER 60 S.F. OF INDOOR SEATING AREAS  
1 PKG. SP. REQ'D PER 100 S.F. OF:  
- KITCHEN AREA  
- COUNTER SEATING AREAS  
- OUTDOOR SEATING AREAS

PUBLIC ASSEMBLY  
1 PKG. SP. REQ'D PER 40 S.F. OF NET FLR. AREA

HOTEL  
1 PKG. SPACE REQ'D FOR EA. SLEEPING ROOM, SUITE OF ROOMS OR HOUSEKEEPING UNIT.  
WHERE OTHER PRINCIPAL USES, SUCH AS RESTAURANTS, BARS, AND MEETING ROOMS, ARE LOCATED ON THE PREMISES, THE PRINCIPAL USE REQUIRING THE GREATEST AMOUNT OF PARKING SHALL PROVIDE ONE HUNDRED PERCENT OF THE REQUIRED PARKING SPACES, AND THE OTHER USES SHALL PROVIDE IN ADDITION AT LEAST SEVENTY PERCENT OF THE PARKING SPACES WHICH WOULD BE REQUIRED IF THESE USES WERE BY THEMSELVES.

PARKING CALCULATIONS

HOTEL - 62,620 S.F.  
ROOM COUNT = 113 + HOUSEKEEPING UNITS = 4  
2,448 S.F. OF EVENT SPACE  
511 S.F. OF PRE-FUNCTION  
3,004 S.F. OF ASSEMBLY SPACES  
3,004 / 40 = 75 SPACES REQUIRED X 10% = 24 SPACES

1,118 S.F. OF PATIO  
743 S.F. OF PREP KITCHEN  
1,861 S.F. / 100 = 19 SPACES X 10% = 14 SPACES

TOTAL SPACES REQUIRED FOR HOTEL: 117 + 24 + 14 = 155  
TOTAL PARKING SPACES PROVIDED FOR HOTEL: 160

EV SPACES REQUIRED / PROVIDED FOR HOTEL PER 2022 C6B5C 4.106.4.2.2:  
EV CAPABLE FUTURE LEVEL 2 EVSE (10% OF TOTAL PARKING SPACES PROVIDED):  
160 x 0.10 = 16 REQUIRED / 16 PROVIDED  
EV READY LOW POWER LEVEL 2 EVSE RECEPTACLES (25% OF TOTAL PARKING SPACES PROVIDED):  
160 x 0.25 = 40 REQUIRED / 40 PROVIDED  
EV CHARGERS LEVEL 2 EVSE (5% OF TOTAL PARKING SPACES PROVIDED):  
160 x 0.05 = 8 REQUIRED / 8 PROVIDED

GSR - 2,500 S.F.  
460 S.F. TOTAL OF INDOOR SEATING AREA  
460 / 60 = 8 SPACES REQUIRED

400 S.F. OF OUTDOOR SEATING AREA  
400 S.F. / 100 = 4 SPACES REQUIRED

TOTAL SPACES REQUIRED FOR GSR: 8 + 4 = 12  
TOTAL PARKING SPACES PROVIDED FOR GSR: 18

GROCERY STORE - 16,000 S.F.  
16,000 S.F. / 250 S.F. = 64 SPACES REQUIRED

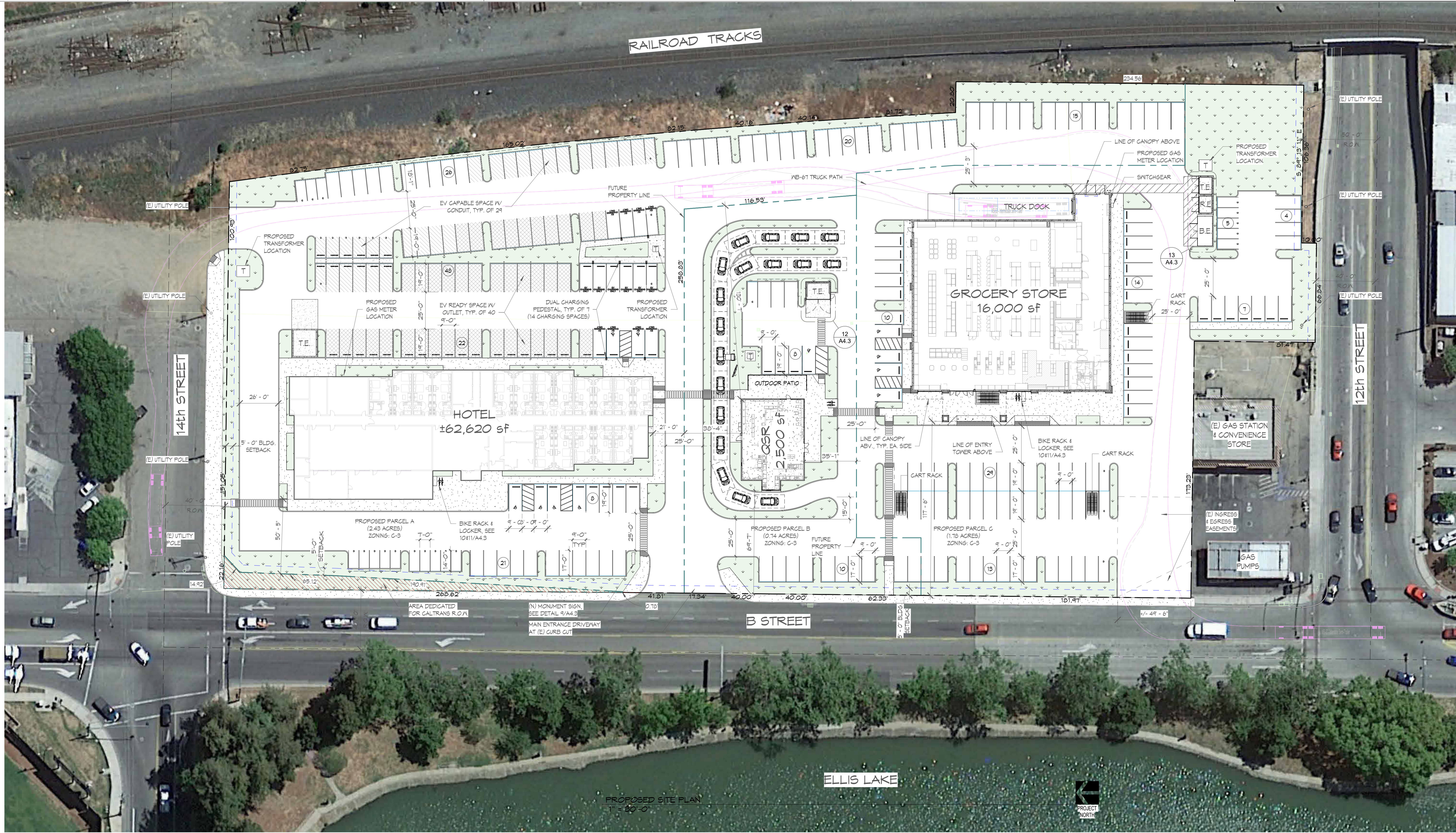
TOTAL SPACES REQUIRED FOR GROCERY: 64  
TOTAL PARKING SPACES PROVIDED FOR GROCERY: 81

COMBINE RETAIL  
TOTAL PARKING SPACES PROVIDED FOR RETAIL: 94  
EV SPACES REQUIRED / PROVIDED FOR RETAIL PER 2022 C6B5C TABLE 5.106.5.3.1:  
EV CAPABLE (INFRASTRUCTURE ONLY):  
17 - 4 EVSE (SEE BELOW) + 13 PROVIDED / 13 PROVIDED  
EV CHARGERS LEVEL 2 EVSE:  
4 REQUIRED (INCLUDED ABV) / 6 PROVIDED  
EVCS FOR MED/HEAVY-DUTY VEHICLES (FOR GROCERY ONLY) REQUIRED:  
1 REQUIRED / 1 PROVIDED

TOTAL NUMBER OF REQUIRED PARKING SPACES:  
155 + 12 + 64 = 231 SPACES REQUIRED  
TOTAL NUMBER OF PARKING SPACES PROVIDED:  
160 + 18 + 81 = 259 SPACES PROVIDED

TOTAL EV CAPABLE FUTURE LEVEL 2 EVSE: 16 + 13 = 29  
TOTAL EV READY LOW POWER LEVEL 2 EVSE RECEPTACLES: 40  
TOTAL EV CHARGERS LEVEL 2 EVSE: 8 + 6 = 14  
TOTAL EV FOR MED/HEAVY-DUTY VEHICLES REQ'D: 1

REVISIONS		
#	Date	Description



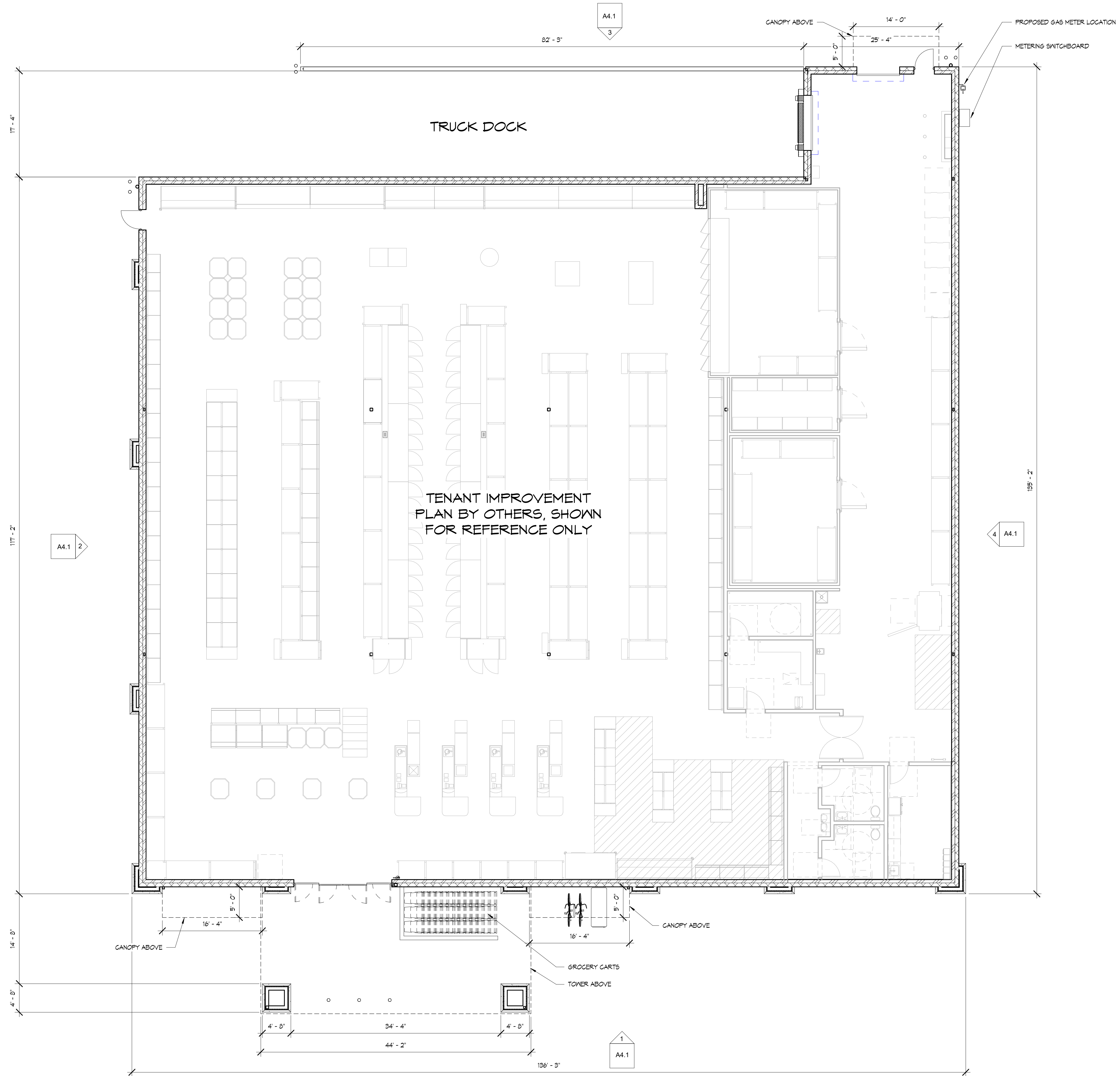
PROJECT FOR:  
**B STREET HOTEL MARYSVILLE**  
B Street, between 12th & 14th  
Marysville, CA

**MCCANDLESS & ASSOCIATES ARCHITECTS, INC.**  
428 1/2 FIRST STREET, SUITE 204  
WOODLAND, CA 95695  
www.mccandlessarch.com  
PH: (950) 662-9146

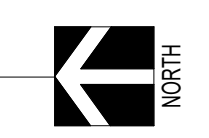
PROPOSED SITE PLAN  
DESIGN REVIEW

DRAWN	MAA
CHECKED	MAA
DATE	01/09/2024
SCALE	1" = 30'-0"
JOB #	22-165
SHEET	A1.0





1 PROPOSED GROCERY MARKET FLOOR PLAN  
1/8" = 1'-0"



REVISIONS		
#	Date	Description

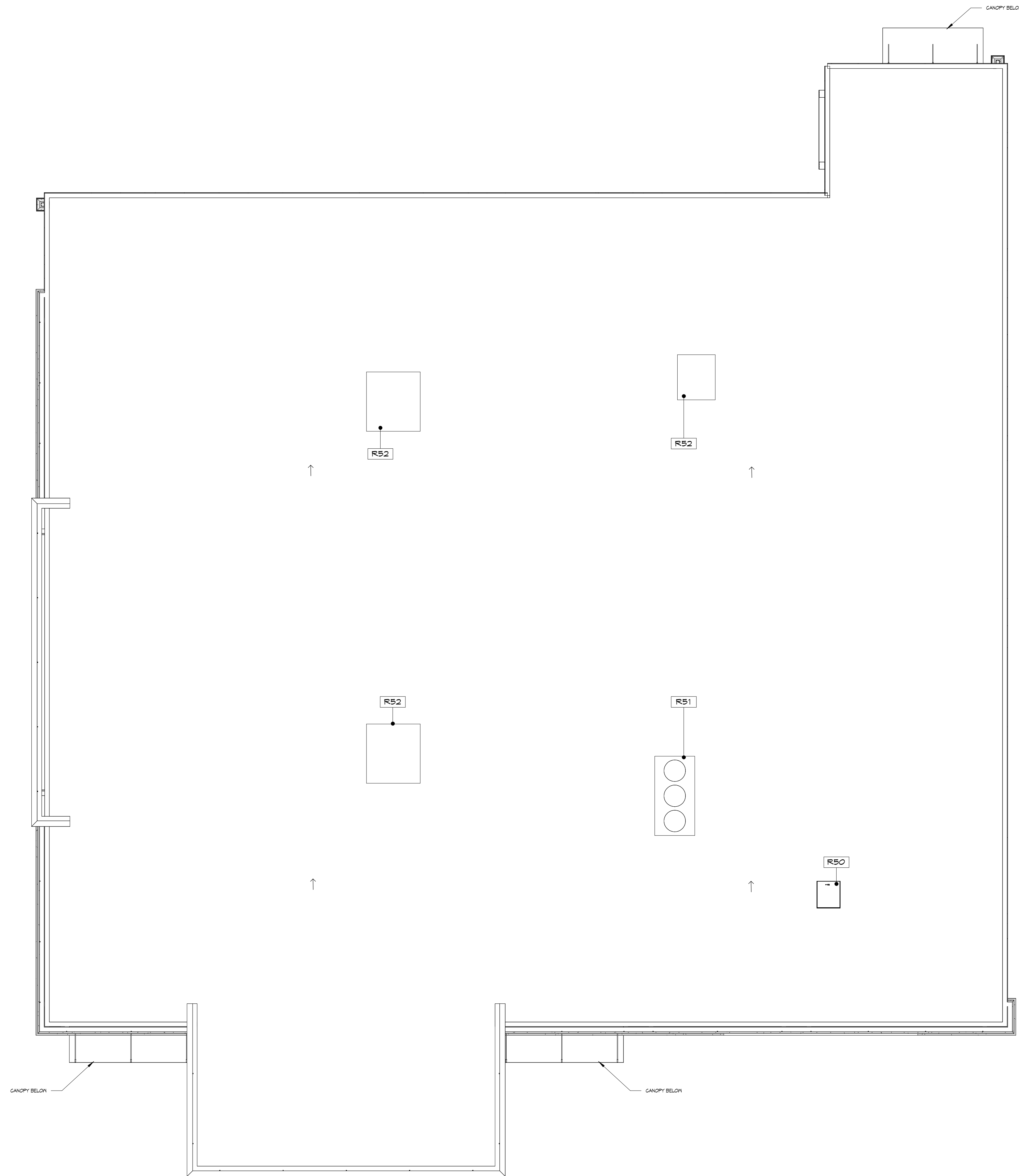
PROJECT FOR:  
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**MCCANDLESS & ASSOCIATES ARCHITECTS, INC.**  
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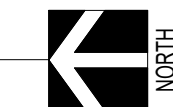
**GROCERY MARKET FLOOR PLAN**  
**DESIGN REVIEW**

DRAWN	MAA
CHECKED	MAA
DATE	12/21/2023
SCALE	1/8" = 1'-0"
JOB #	22-165
SHEET	<b>A2.1</b>





① PROPOSED GROCERY MARKET ROOF PLAN  
1/8" = 1'-0"



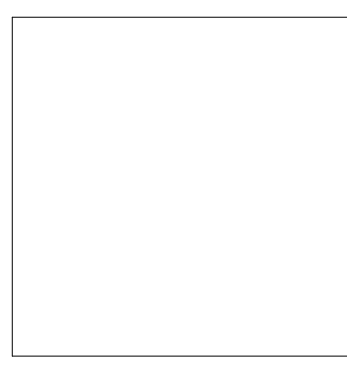
EXTERIOR ELEVATION KEYNOTES

R50	ROOF ACCESS HATCH MIN 20'X30' WITH ROOF LADDER WITH CAGE BELOW
R51	ROOF MOUNTED REFRIGERATION CONDENSER UNITS
R52	ROOF MOUNTED MECHANICAL EQUIPMENT AND EXHAUST FANS

REVISIONS		
#	Date	Description

PROJECT FOR:  
**B STREET HOTEL MARYSVILLE**  
B Street, between 12th & 14th  
Marysville, CA

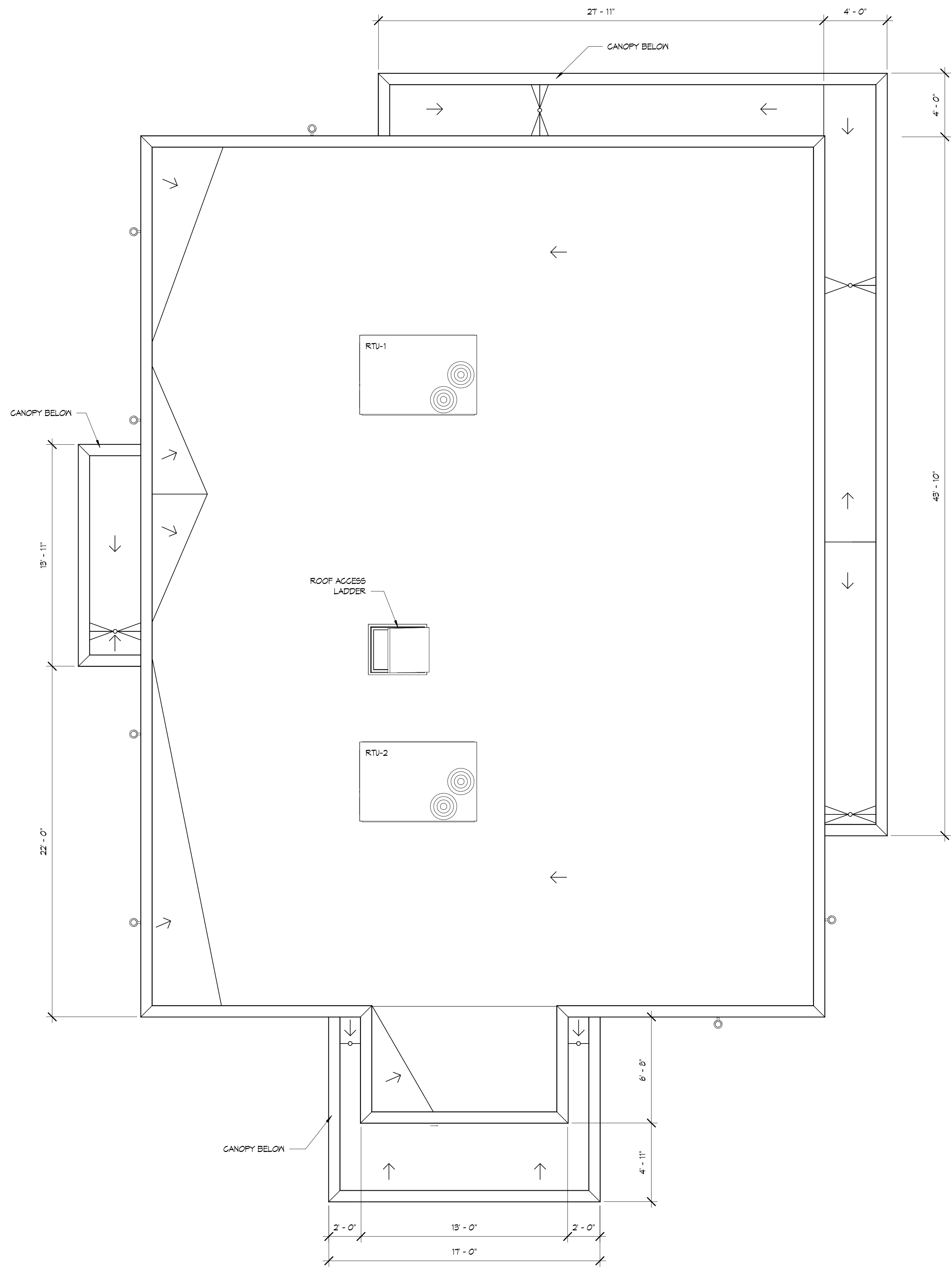
**MCCANDLESS & ASSOCIATES ARCHITECTS, INC.**  
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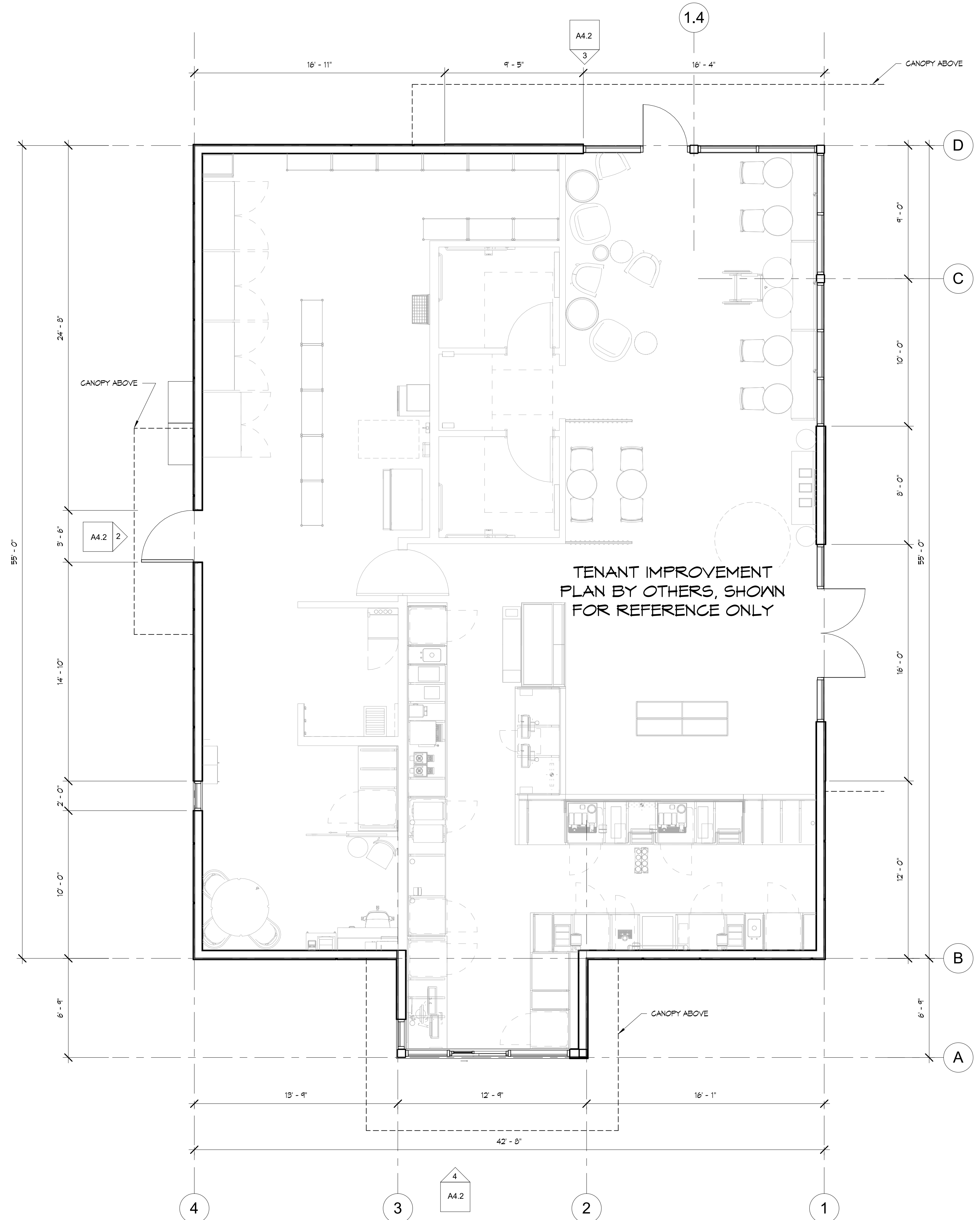
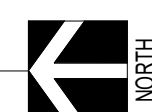
GROCERY MARKET ROOF PLAN  
**DESIGN REVIEW**

DRAWN	MAA
CHECKED	MAA
DATE	12/21/2023
SCALE	1/8" = 1'-0"
JOB #	22-165
SHEET	<b>A2.2</b>





2 PROPOSED GSR ROOF PLAN  
1/4" = 1'-0"



1 PROPOSED GSR FLOOR PLAN  
1/4" = 1'-0"



REVISIONS		
#	Date	Description

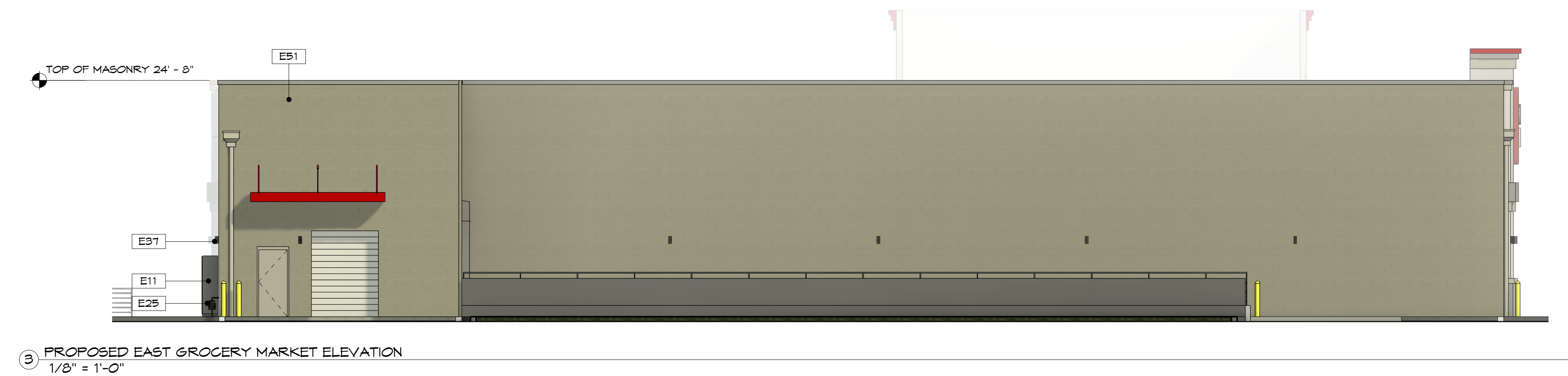
PROJECT FOR:  
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GSR FLOOR & ROOF PLANS  
DESIGN REVIEW

DRAWN	Author
CHECKED	MAA
DATE	12/21/2023
SCALE	1/4" = 1'-0"
JOB #	22-165
SHEET	A2.3





EXTERIOR ELEVATION KEYNOTES

E11	METERING SWITCHBOARD, PAINT TO MATCH STUCCO WALL
E25	GAS METER
E33	CONCRETE BOLLARD, 9" DIAMETER, COLOR YELLOW
E37	LIGHT FIXTURE, AGUITY BRANDS WP2-T3 LED EXTERIOR WALL PACK
E38	BIKE STORAGE LOCKER, SEE DETAIL 11/A4.3
E39	BIKE RACK, SEE DETAIL 10/A4.3
E50	SPLIT FACED CMU BLOCK WALL, COLOR: SHERWIN WILLIAMS CHARCOAL
E51	SPLIT FACED CMU BLOCK WALL, COLOR: SHERWIN WILLIAMS GRAYSTONE
E52	CEMENT PLASTER PILASTER CAPITOL TRIM, COLOR: SHERWIN WILLIAMS GRAYSTONE
E53	CEMENT PLASTER PILASTER SILL TRIM, COLOR: SHERWIN WILLIAMS GRAYSTONE
E54	WAINSCOT, COLOR: SHERWIN WILLIAMS CHARCOAL
E55	CEMENT PLASTER ACCENT CAP (BAND), COLOR: SHERWIN WILLIAMS CHARCOAL
E56	1/8" REINFORCED CEMENT PLASTER, COLOR: SHERWIN WILLIAMS SHORELINE
E57	CEMENT PLASTER CORNICE TRIM, COLOR: SHERWIN WILLIAMS GRAYSTONE
E58	CEMENT PLASTER CORNICE TRIM, COLOR: SHERWIN WILLIAMS CHARCOAL
E59	G.I. PARAPET CAP / FLASHING, COLOR: SHERWIN WILLIAMS RED

REVISIONS		
#	Date	Description

PROJECT FOR:  
**B STREET HOTEL MARYSVILLE**  
 B Street, between 12th & 14th  
 Marysville, CA

BUILDING MATERIALS

	SHERWIN WILLIAMS GRAYSTONE
	SHERWIN WILLIAMS CHARCOAL
	SHERWIN WILLIAMS SHORELINE
	SHERWIN WILLIAMS RED

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**GROCERY MARKET ELEVATIONS**  
**DESIGN REVIEW**

DRAWN	MAA
CHECKED	MAA
DATE	12/21/2023
SCALE	As indicated
JOB #	22-165
SHEET	<b>A4.1</b>





1 PROPOSED SOUTH GSR ELEVATION  
1/4" = 1'-0"



2 PROPOSED NORTH GSR ELEVATION  
1/4" = 1'-0"



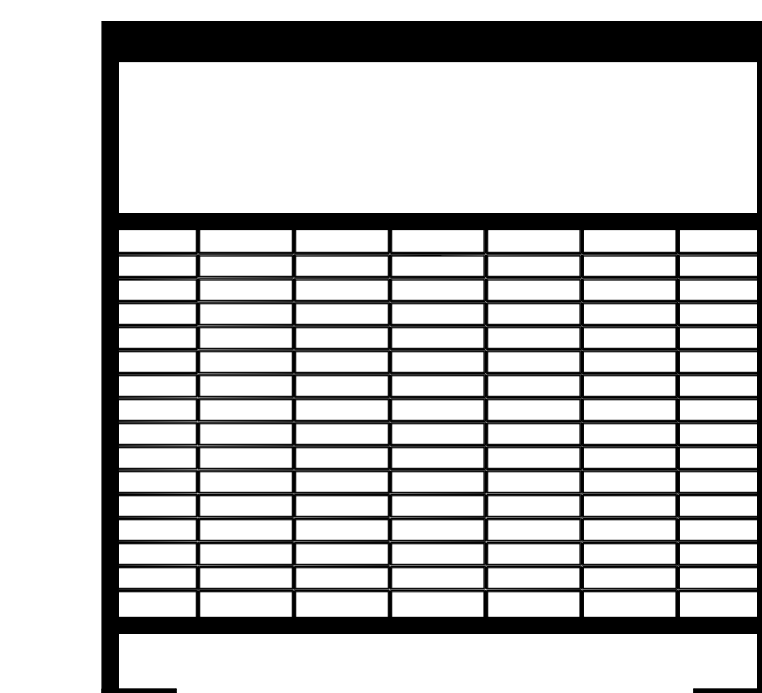
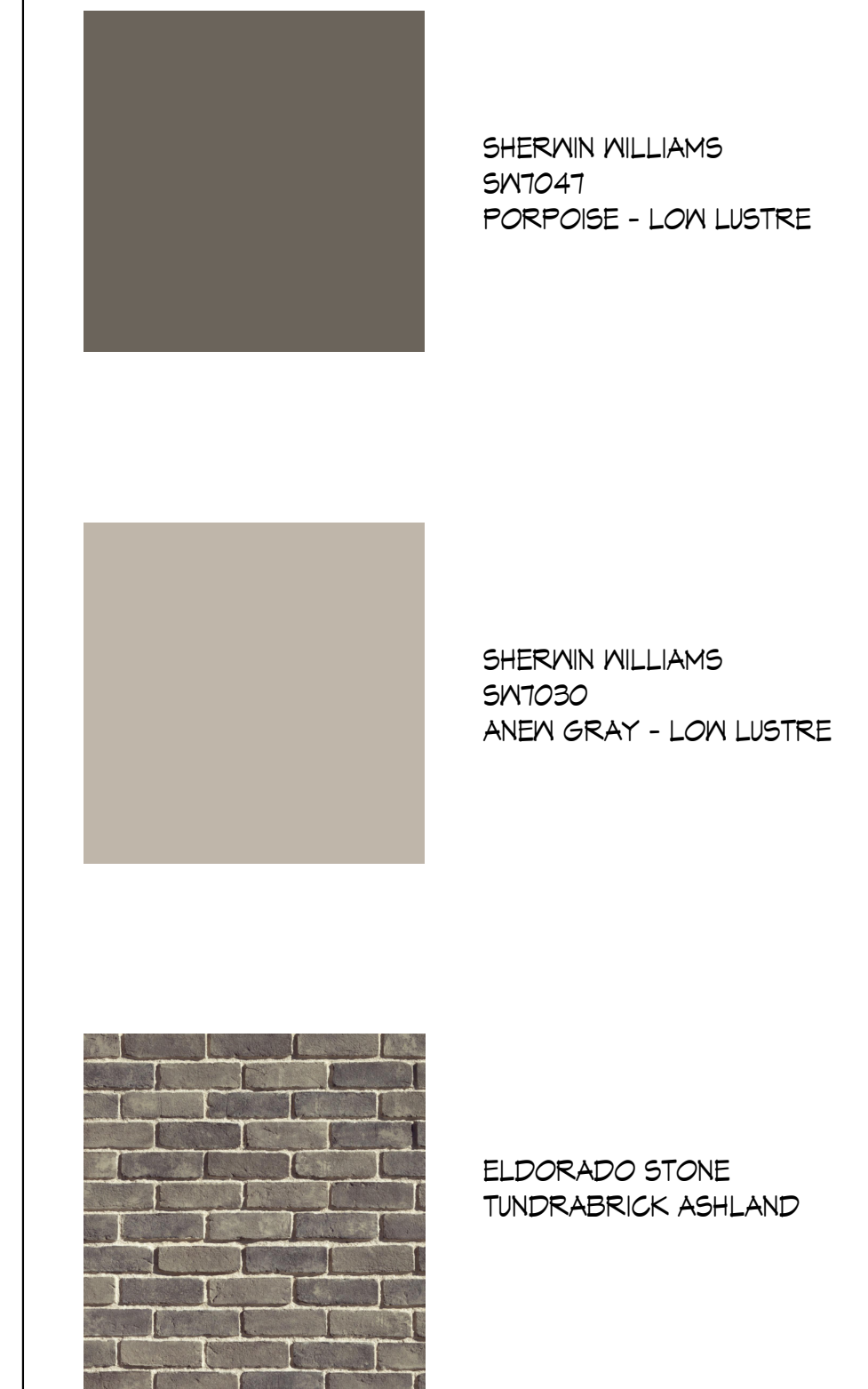
3 PROPOSED EAST GSR ELEVATION  
1/4" = 1'-0"

4 PROPOSED WEST GSR ELEVATION  
1/4" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

#	Date	Description
E2		ELDORADO STONE THIN BRICK VENEER, COLOR: TUNDRABRICK ASHLAND
E3		3-COAT STUCCO, PAINT COLOR: SHERVIN WILLIAMS ANEX GRAY (SAY030)
E4		FLUSH HOLLOW METAL DOOR & FRAME, PAINT COLOR: SHERVIN WILLIAMS PORPOISE (SAY047)
E5		EXTERIOR METAL ANNING IV ALUCOBOND PLUS RANSREEN 1 FINISH, COLOR: FOCUS BLACK 1
E6		ALUMINUM PARAPET CAP, PAINT COLOR TO MATCH STUCCO BELOW
E10		EXTERNAL WALL SCOTCH, TYP. CHECK CUT SHEET FOR PROPOSED LIGHT FIXTURE
E11		METERING SWITCHBOARD, PAINT TO MATCH STUCCO WALL
E14		3-COAT STUCCO, PAINT COLOR: SHERVIN WILLIAMS PORPOISE (SAY047)
E17		ALUMINUM STOREFRONT, COLOR: DARK BRONZE, GLAZING: CLEAR, TYP. UNO
E21		INTERNALLY ILLUMINATED BUILDING MOUNTED SIGNAGE (UNDER SEPARATE PERMIT) - SIREN LOGO (9'-0" DIAMETER)
E22		INTERNALLY ILLUMINATED BUILDING MOUNTED SIGNAGE (UNDER SEPARATE PERMIT) - DRIVE THRU SIGN (4'-0" X 1'-4")
E23		INTERNALLY ILLUMINATED BUILDING MOUNTED SIGNAGE (UNDER SEPARATE PERMIT) - SURFACE MOUNTED CHANNEL LETTERS (1'-6" X 14'-6")
E40		ALUMINUM PATIO SEATING PERIMETER GUARDRAIL, COLOR: DARK BRONZE

BUILDING MATERIALS



5 PATIO FENCE DETAIL  
1" = 1'-0"

REVISIONS

#	Date	Description

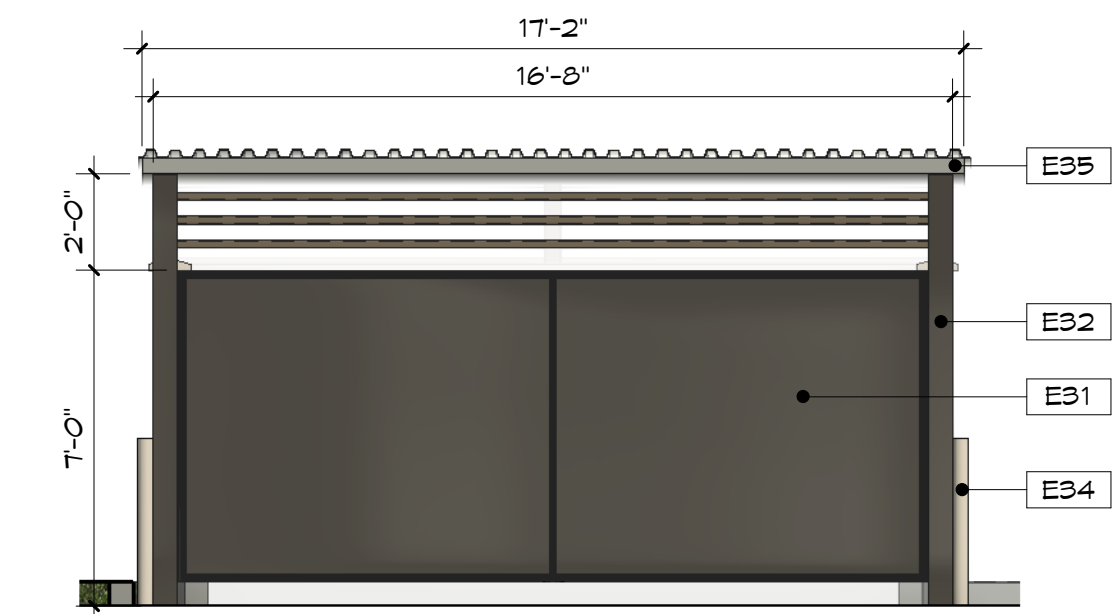
PROJECT FOR:  
**B STREET HOTEL MARYSVILLE**  
B Street, between 12th & 14th  
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**MCCANDLESS & ASSOCIATES ARCHITECTS, INC.**  
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GSR ELEVATIONS  
DESIGN REVIEW

DRAWN MAA  
CHECKED MAA  
DATE 12/21/2023  
SCALE As indicated  
JOB # 22-165  
SHEET

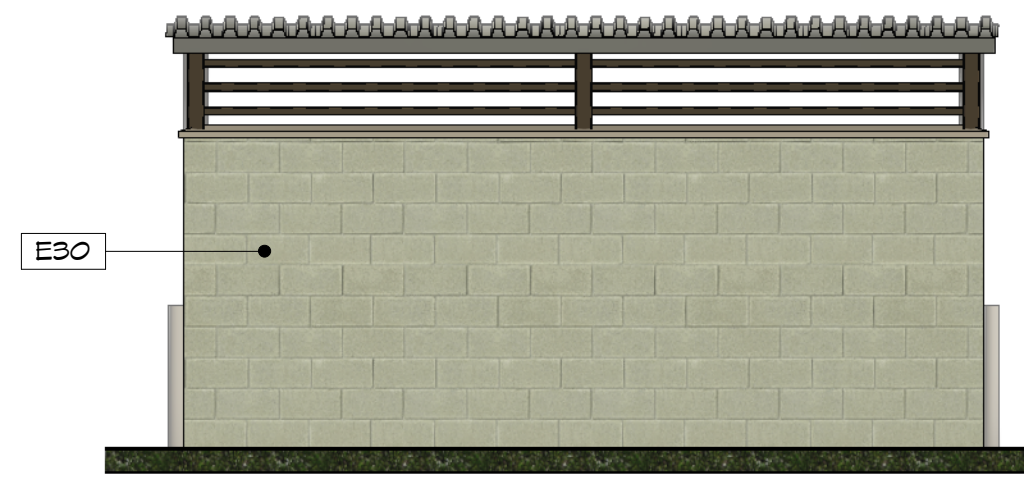




1 TRASH ENCLOSURE - SOUTH GSR ELEVATION  
1/4" = 1'-0"



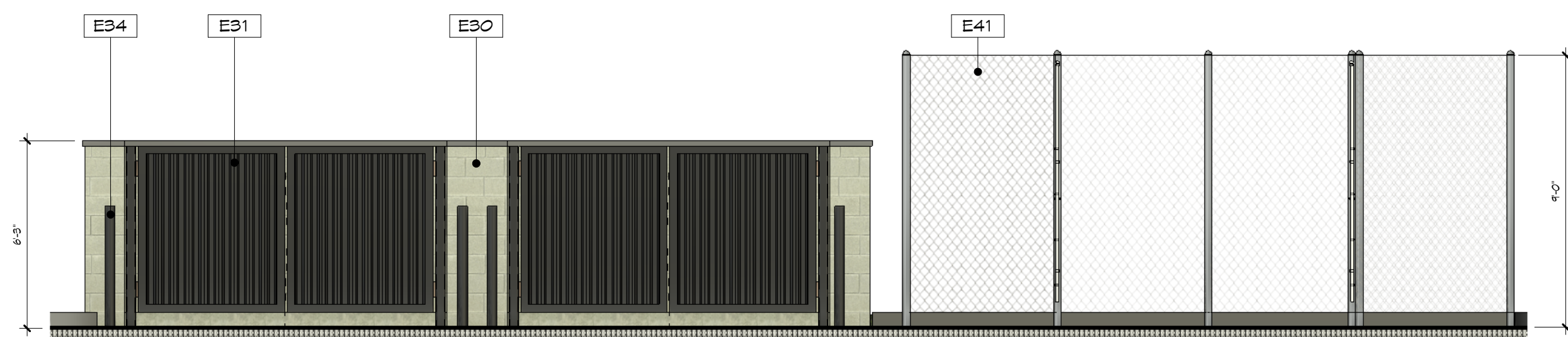
2 TRASH ENCLOSURE - EAST GSR ELEVATION  
1/4" = 1'-0"



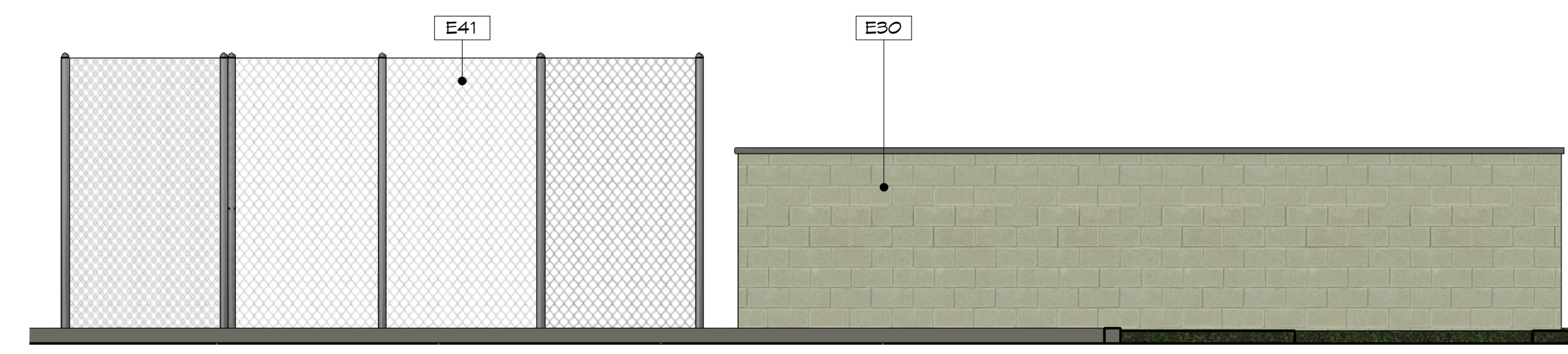
3 TRASH ENCLOSURE - NORTH GSR ELEVATION  
1/4" = 1'-0"



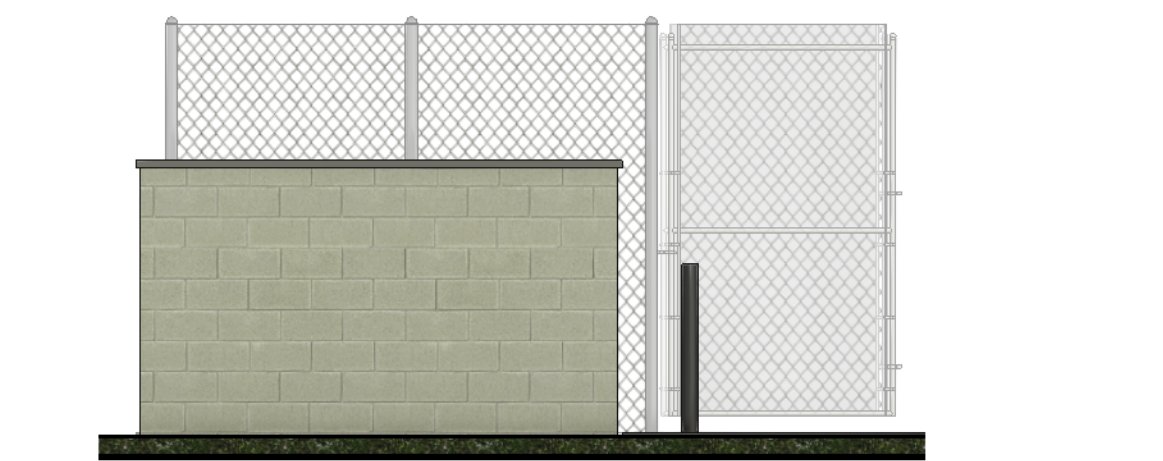
4 TRASH ENCLOSURE - WEST GSR ELEVATION  
1/4" = 1'-0"



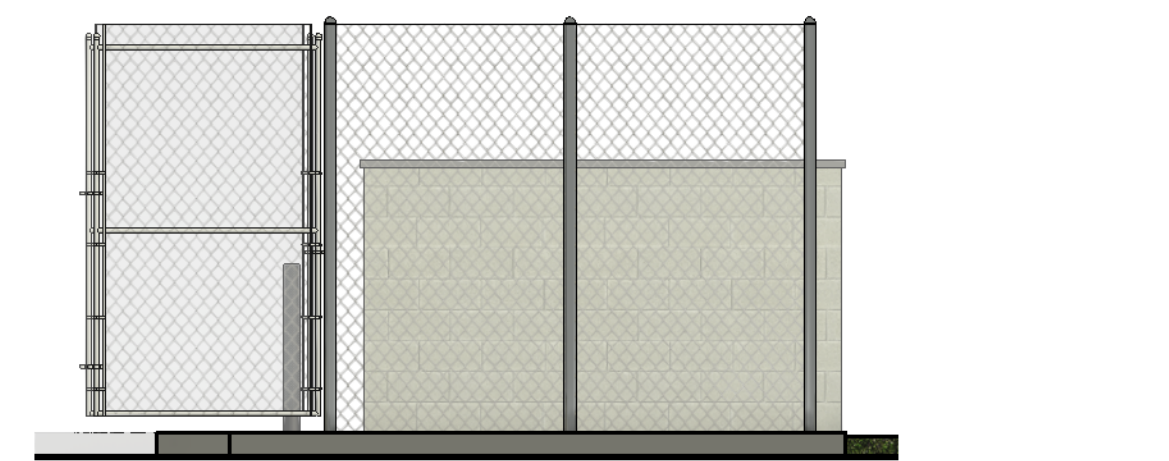
5 TRASH ENCLOSURE - NORTH GROCERY MARKET ELEVATION  
1/4" = 1'-0"



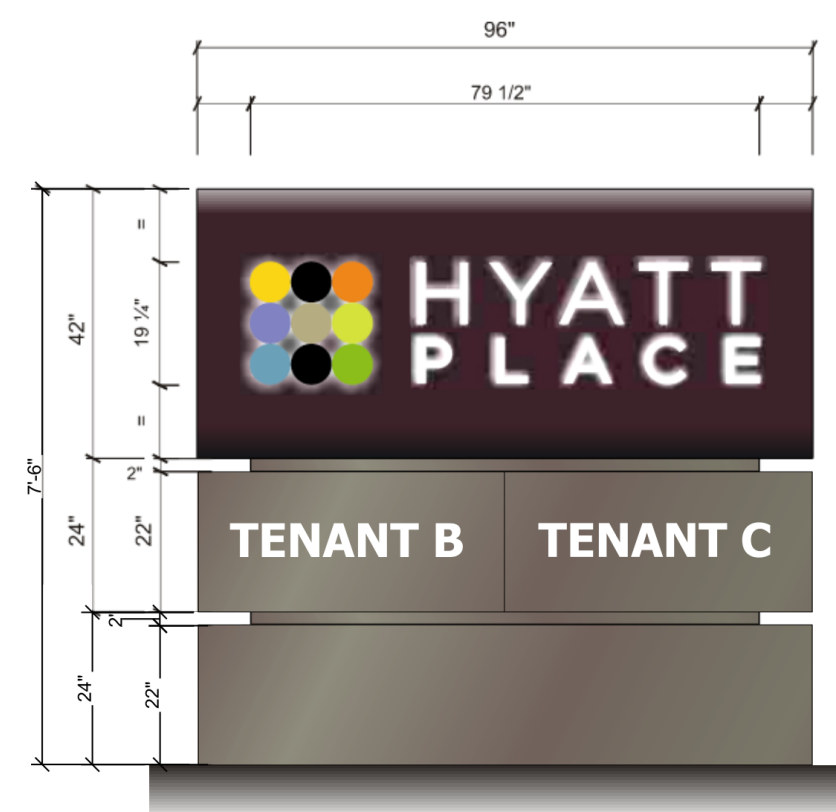
6 TRASH ENCLOSURE - SOUTH GROCERY MARKET ELEVATION  
1/4" = 1'-0"



7 TRASH ENCLOSURE - EAST GROCERY MARKET ELEVATION  
1/4" = 1'-0"



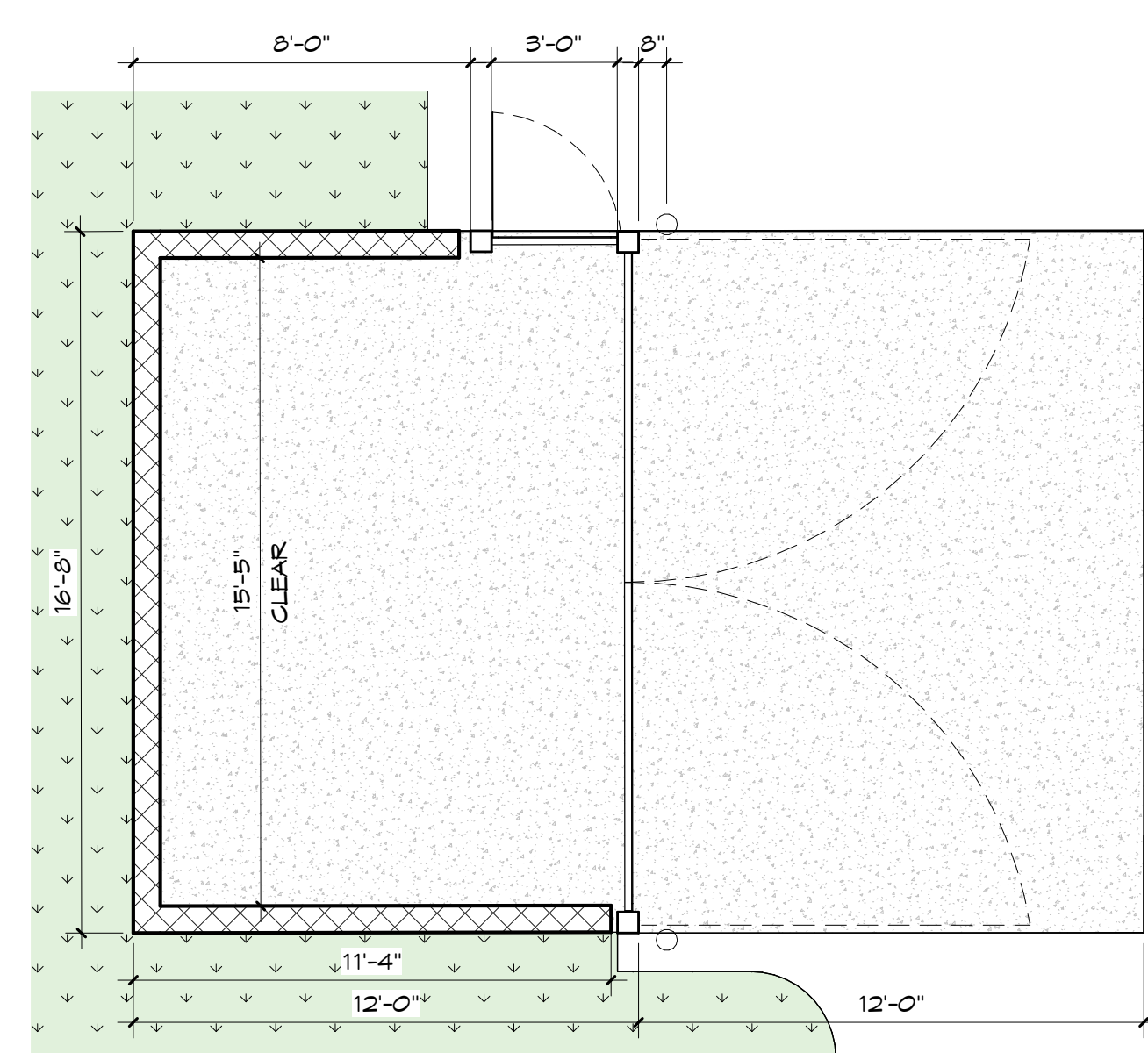
8 TRASH ENCLOSURE - WEST GROCERY MARKET ELEVATION  
1/4" = 1'-0"



MONUMENT SIGN

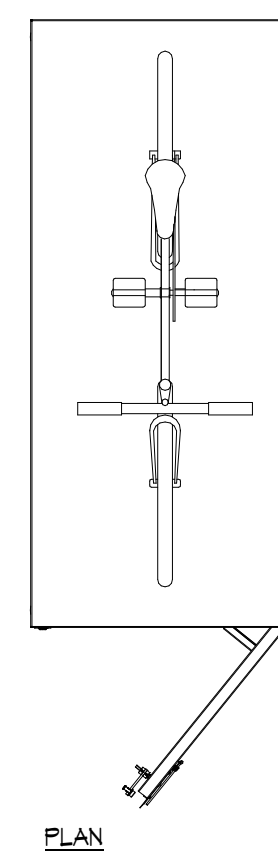
FACES IN 1/8" TH. PAINTED ALUMINUM FACES  
GRAPHIC ROUTED OUT ALUMINUM FACE  
WITH ACRYLIC INFILLED.  
LOGO AS SHOWN (ARLON VINYL FIRST SURFACE  
WITH CLEAR RETURN FOR EACH RONDELLES)  
LETTERS - WHITE ACRYLIC

9 MONUMENT SIGN

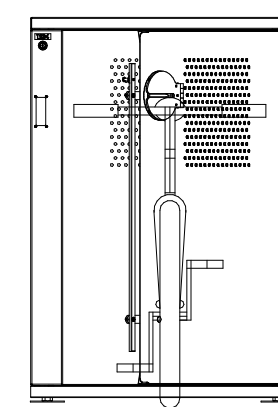


12 ENLARGED GSR TRASH ENCLOSURE PLAN  
1/4" = 1'-0"

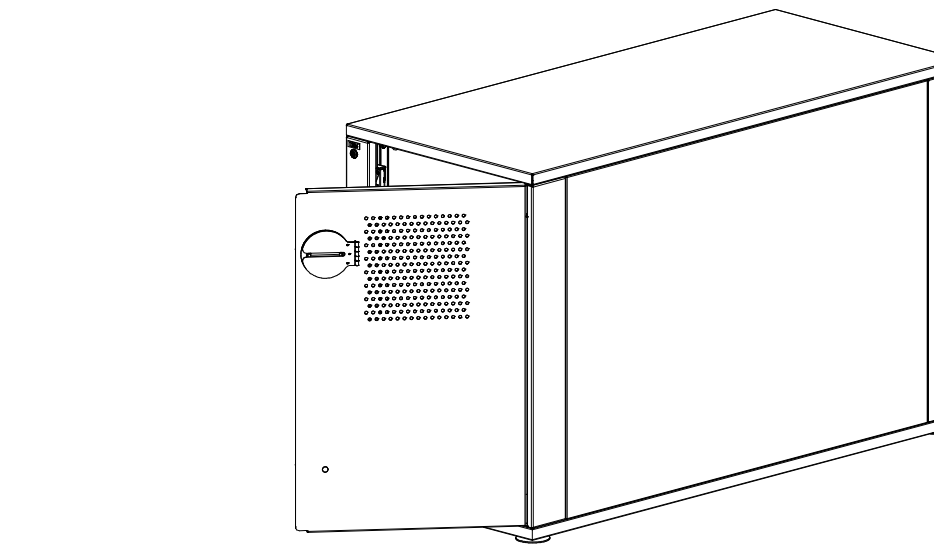
LOCKER NARROW B



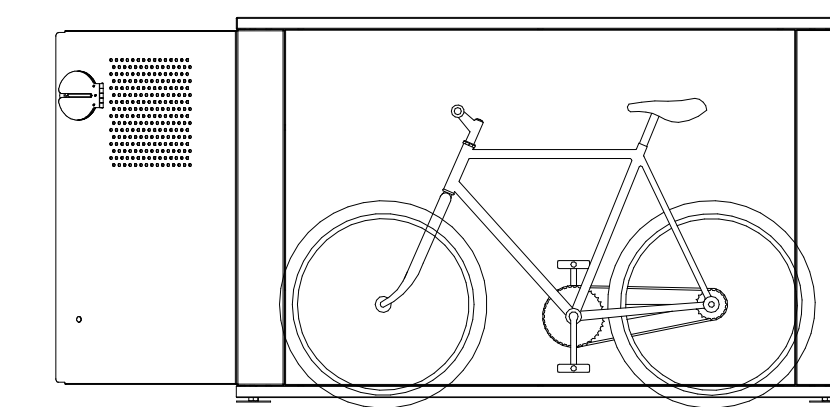
PLAN



FRONT



ISOMETRIC



SIDE

BIKE LOCKER SPECIFICATIONS:

PRODUCT: DERO BIKE LOCKER 33 BY DERO. NO FLOOR OPTION, U-LOCK/PADLOCK HANDLE  
FINISH: POWDER COAT COLOR TO MATCH TRASH ENCLOSURE GATES  
INSTALLATION: INSTALL BIKE LOCKER IN THE LOCATION & ORIENTATION SHOWN ON SITE PLAN. LOCATE MIN. 24" FROM BUILDING. INSTALL ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

11 BIKE STORAGE LOCKER  
1/2" = 1'-0"

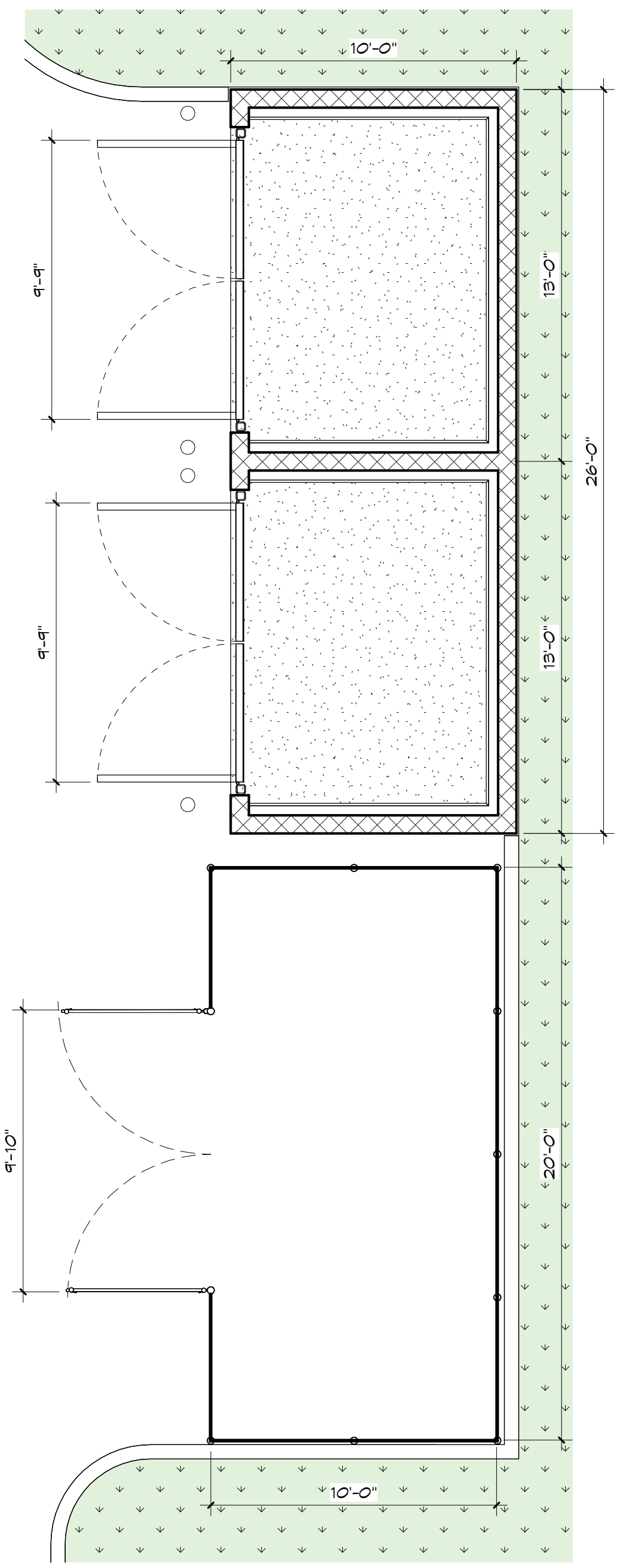
EXTERIOR ELEVATION KEYNOTES

#	Date	Description
E30		SPLIT FACED CMU BLOCK WALL IV CAP, COLOR: CALSTONE S1142LC
E31		METAL TRASH ENCLOSURE DOOR; PAINT, COLOR TO MATCH ARCHITECTURAL LOUVERS MEDIUM BRONZE
E32		METAL TRASH ENCLOSURE GATE & POST; PAINT, COLOR TO MATCH ARCHITECTURAL LOUVERS MEDIUM BRONZE
E34		CONCRETE BOLLARD, 9" DIAMETER, COLOR TO MATCH TRASH ENCLOSURE
E35		COLD ROLLED STEEL CANOPY WITH CORRUGATED METAL ROOFING, COLOR TO MATCH ALUCOBOND FOCUS BLACK II
E41		CHAIN LINK FENCE 3' x 3' WVF

REVISIONS		
#	Date	Description

PROJECT FOR:  
**B STREET HOTEL MARYSVILLE**  
B Street, between 12th & 14th  
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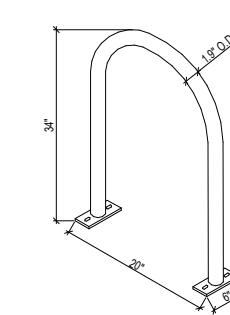
**MCCANDLESS & ASSOCIATES ARCHITECTS, INC.**  
425 1/2 FIRST STREET, SUITE 204  
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PH (530) 662-9146



13 ENLARGED GM TRASH ENCLOSURE PLAN  
1/4" = 1'-0"

BIKE RACK SPECIFICATIONS

BIKES PER UNIT: 2  
MATERIALS: 1.5" SCHEDULE 40 PIPE (1.9" O.D.) STAINLESS STEEL  
FINISH: POWDER COAT, COLOR TO MATCH BENJAMIN MOORE BLACK KNIGHT (2136-10)  
INSTALLATION: INSTALL RACK IN THE CONFIGURATION AS SHOWN ON SITE PLAN, MIN. 24" FROM BUILDING. INSTALL WITH IN-GROUND MOUNT PER MANUFACTURER'S RECOMMENDATIONS.



10 BIKE RACK DETAIL  
1/2" = 1'-0"

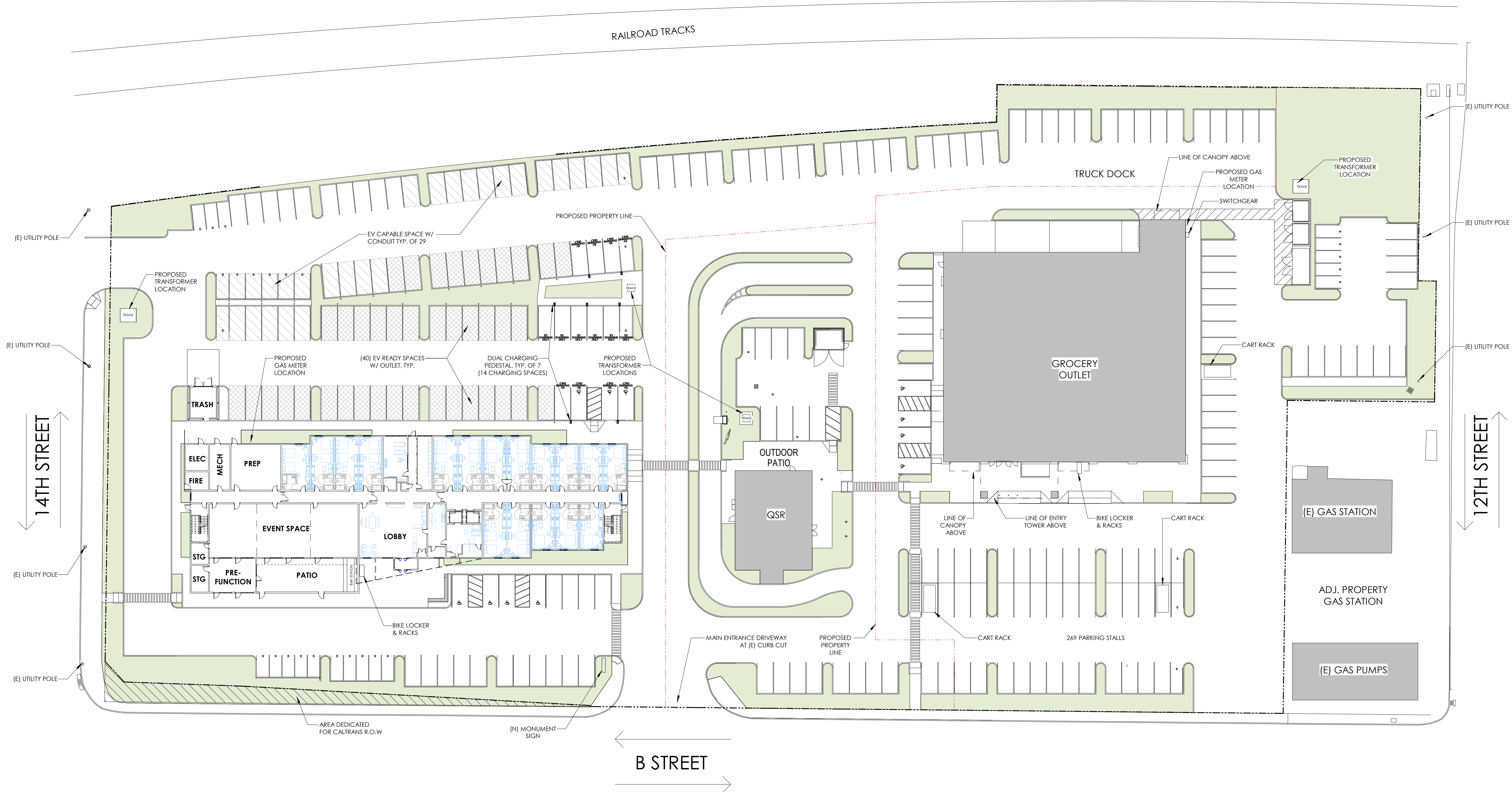
SITE DETAILS  
DESIGN REVIEW

DRAWN	MAA
CHECKED	MAA
DATE	12/21/2023
SCALE	As indicated
JOB #	22-165
SHEET	A4.3









**HOTEL SUMMARY:**

SPACE	GROSS AREA
LOBBY	1,250 SF
EVENT SPACE	2,498 SF
PRE-FUNCTION	511 SF
PATIO	1,118 SF
PREP KITCHEN	743 SF
BOH	1,672 SF

**HOUSEKEEPING UNITS: 3**

LEVEL	GROSS AREA	GUESTROOMS
LEVEL 1	16,450 SF	17
LEVEL 2	15,390 SF	32
LEVEL 3	15,390 SF	32
LEVEL 4	15,390 SF	32
TOTAL	<b>62,620 SF</b>	<b>113</b>

62,620/113= 110 SF PER ROOM

EXTERIOR PATIO	1,100 SF
----------------	----------

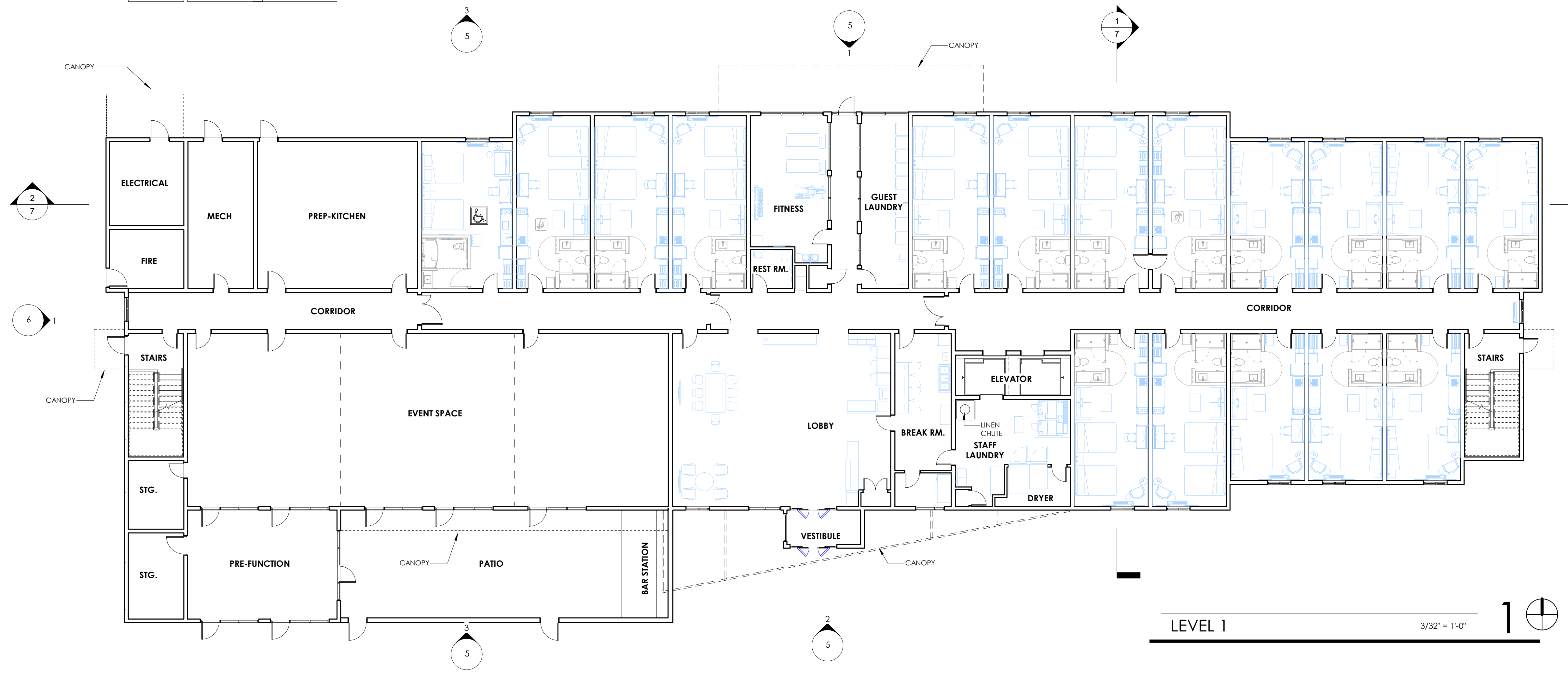
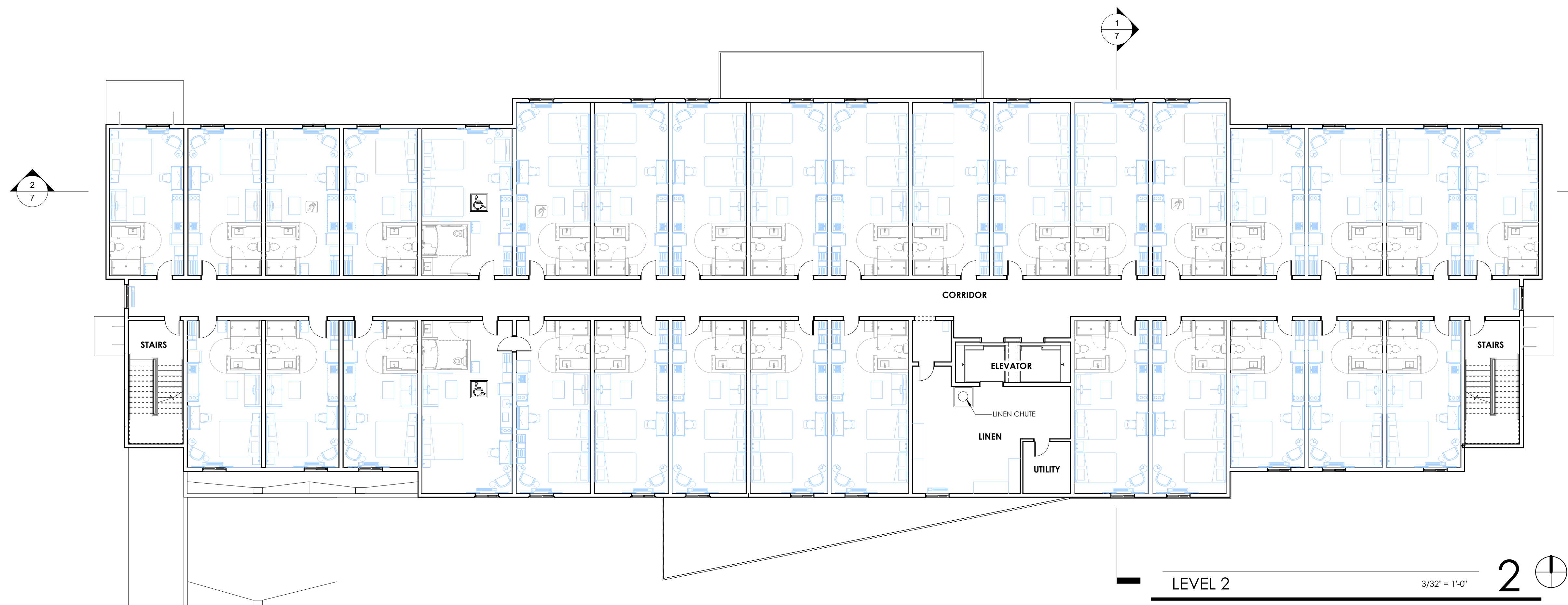
**HOTEL PROGRAM DATA**

SITE PLAN

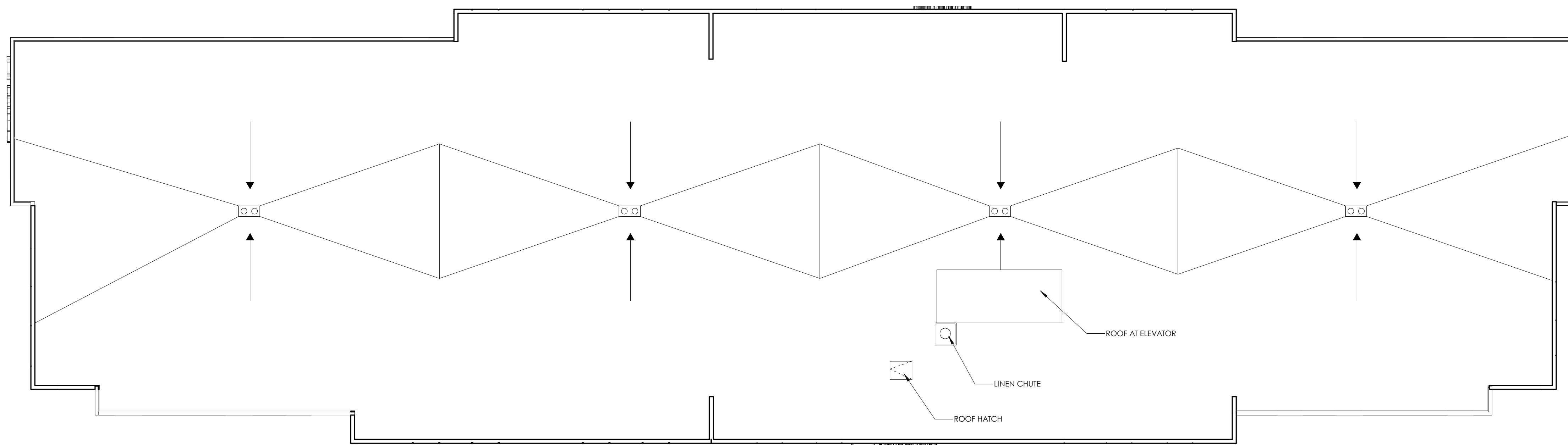
1" = 30'-0"



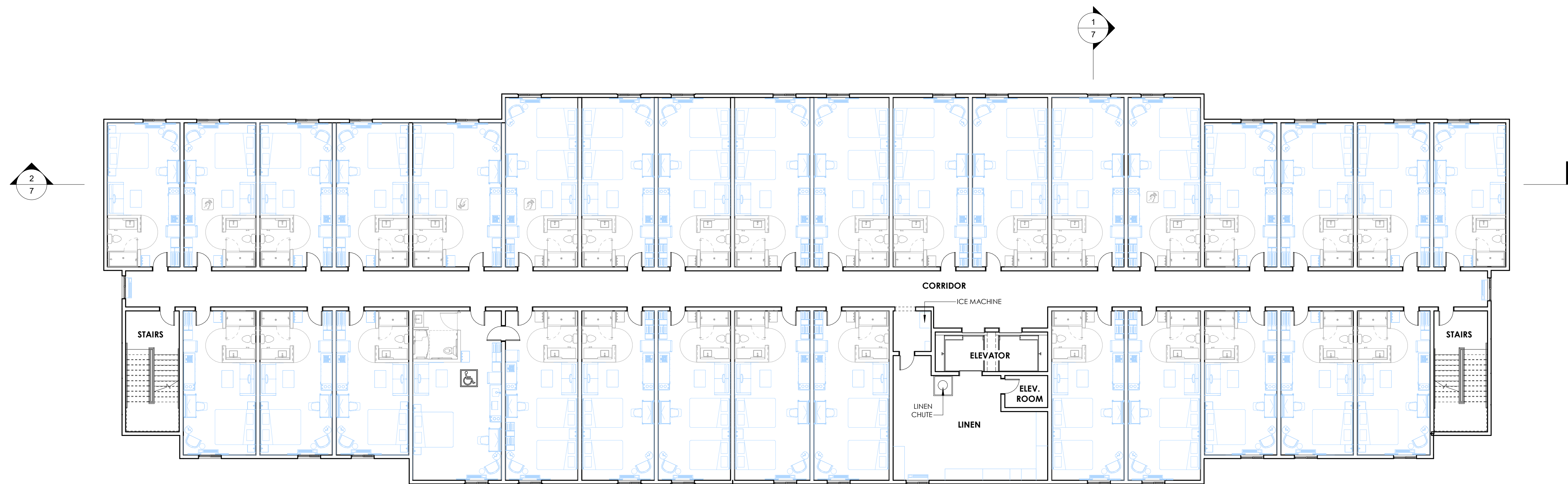






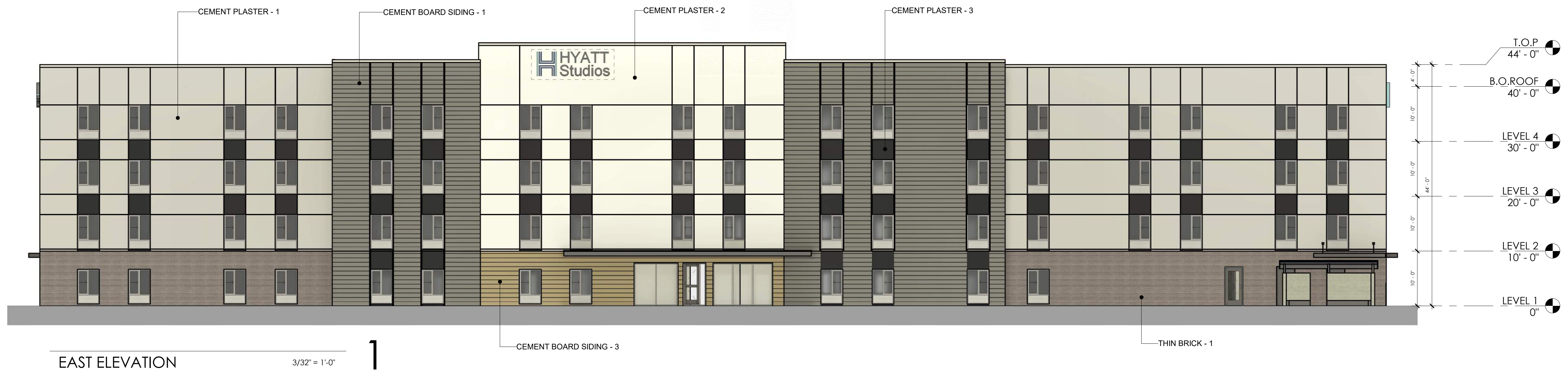


B.O. ROOF 3/32" = 1'-0" 2



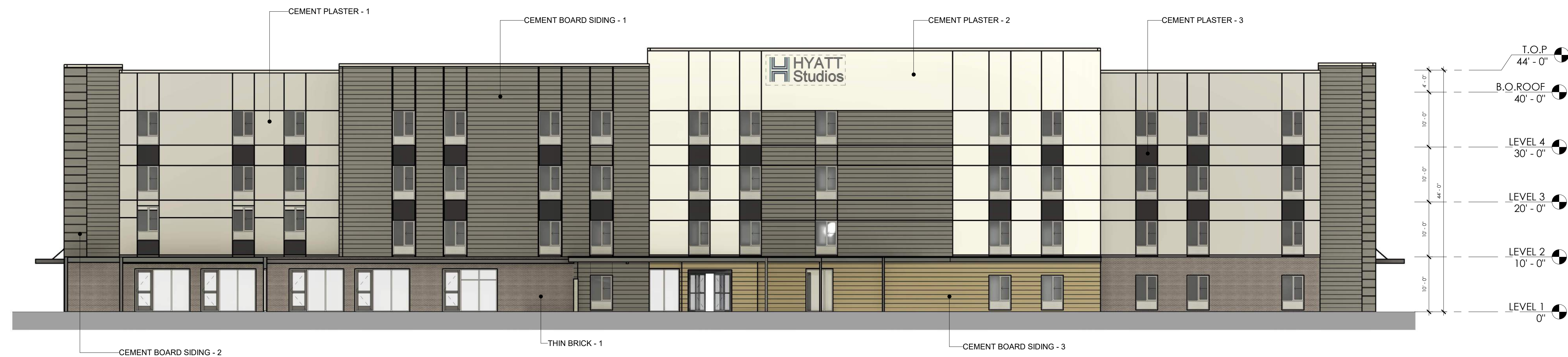
LEVEL 3 & 4 3/32" = 1'-0" 1





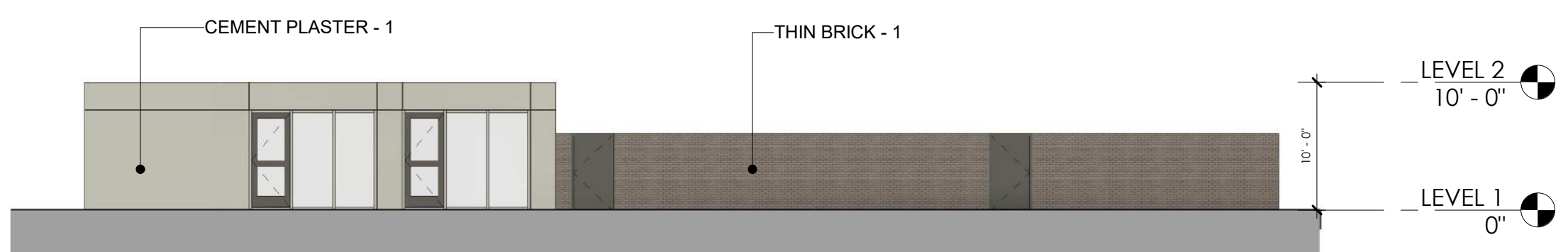
EAST ELEVATION

1



WEST ELEVATION

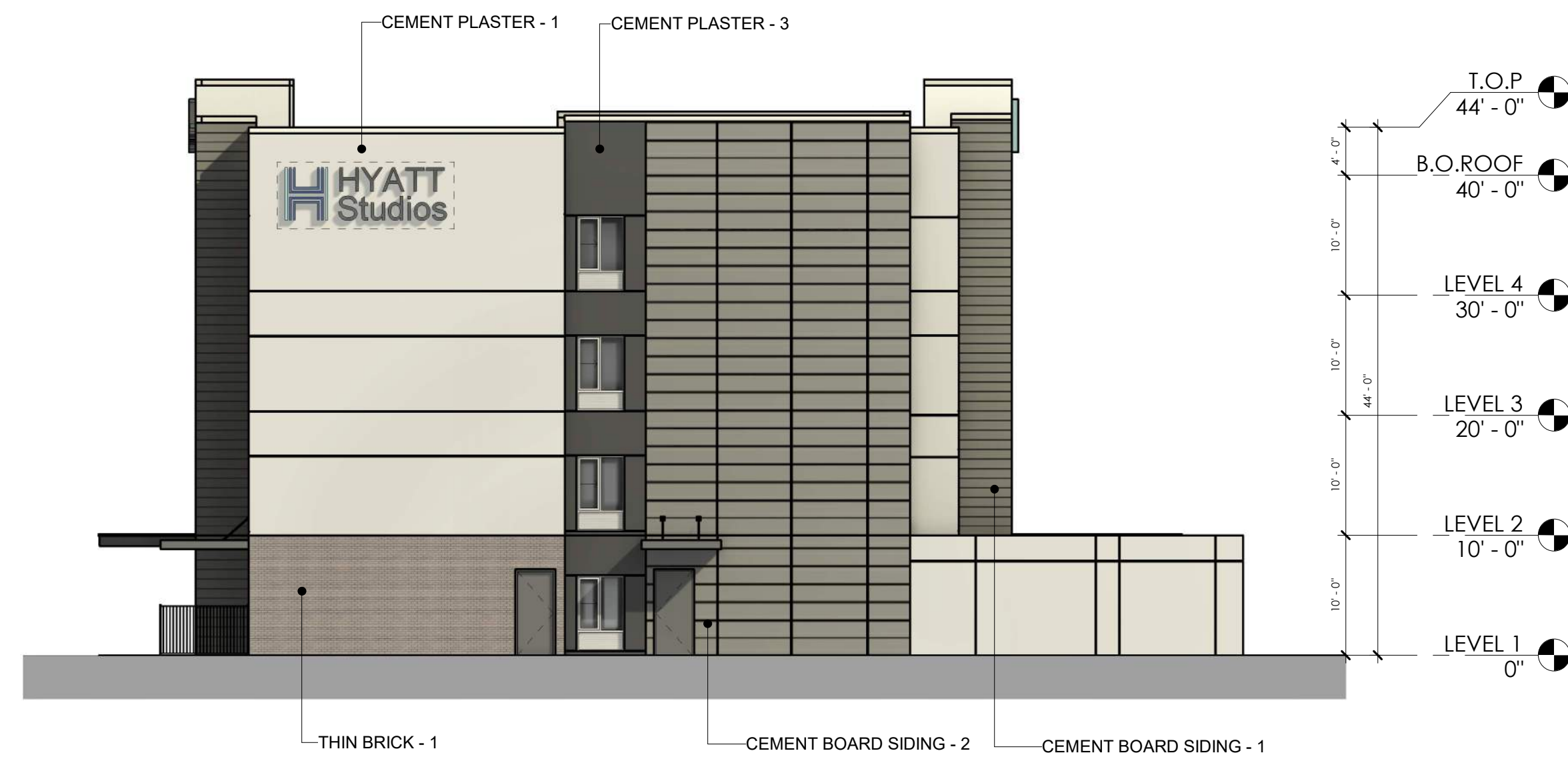
2



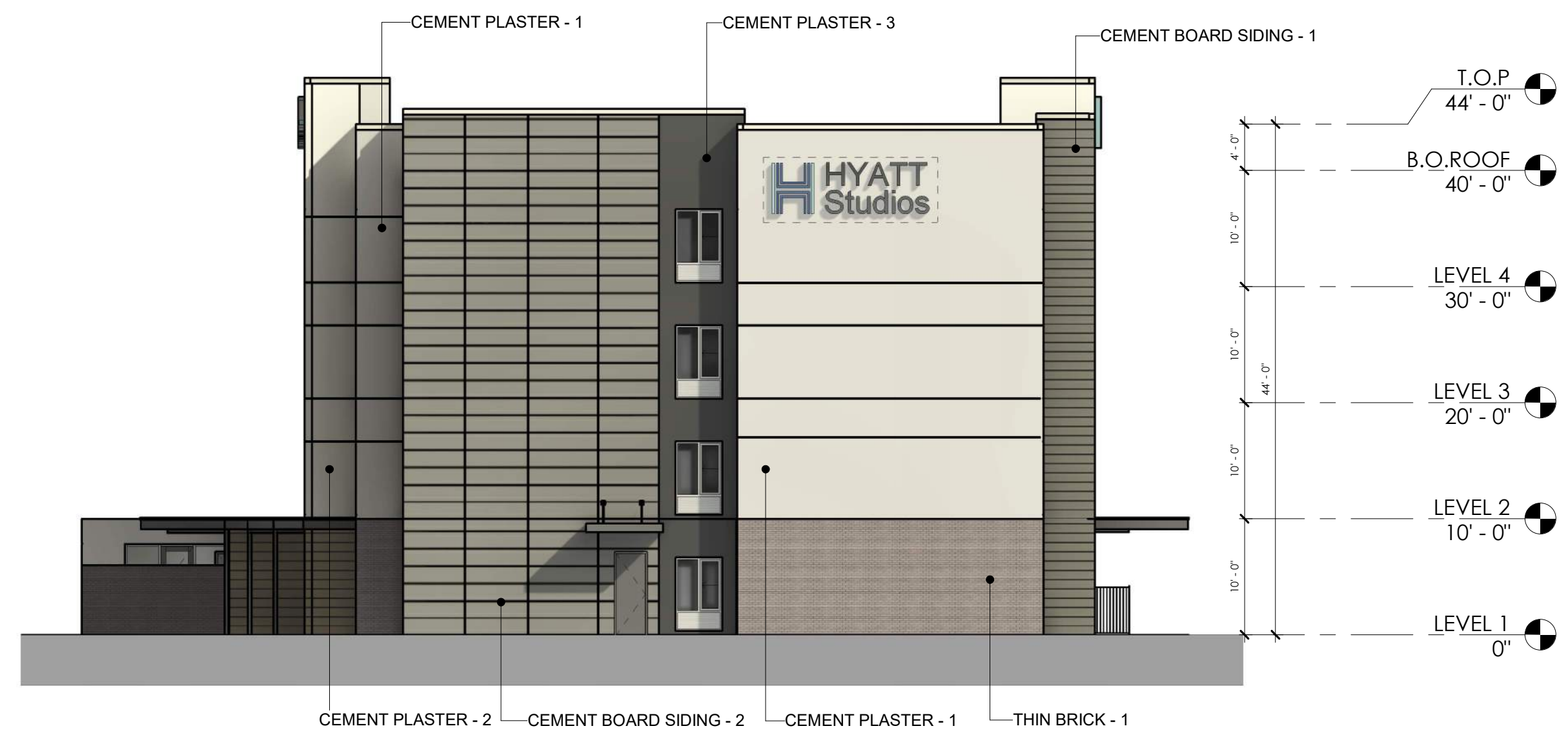
EVENT ELEVATION

3



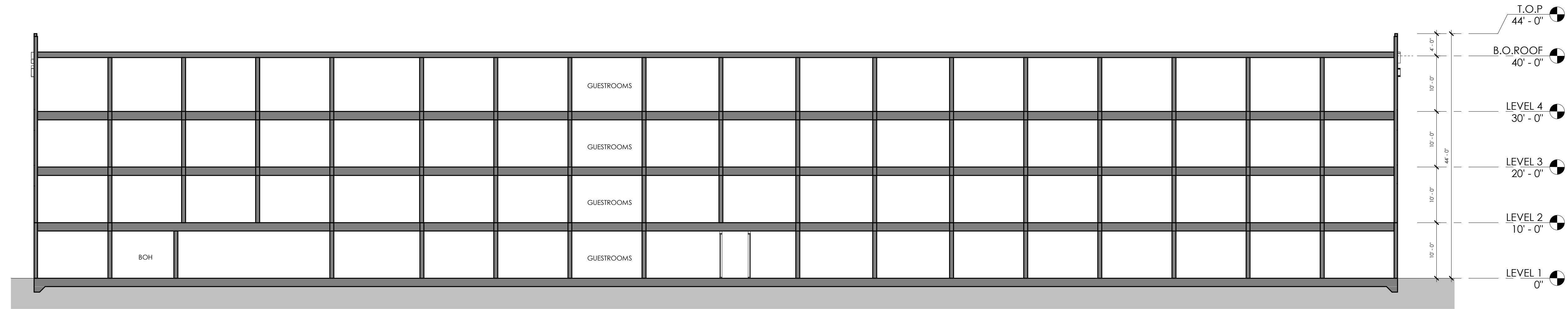


NORTH ELEVATION 1  
3/32" = 1'-0"

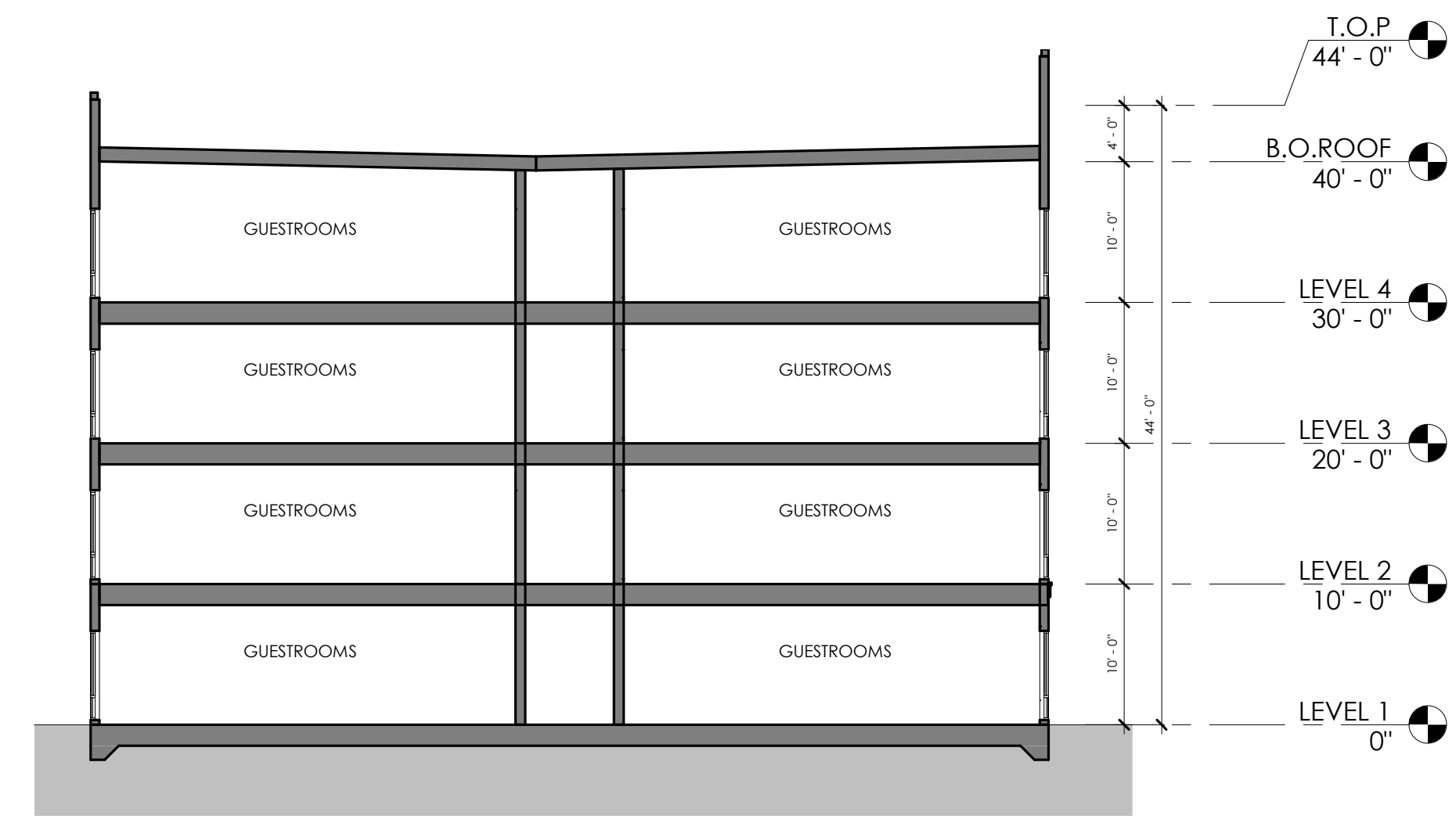


SOUTH ELEVATION 2  
3/32" = 1'-0"



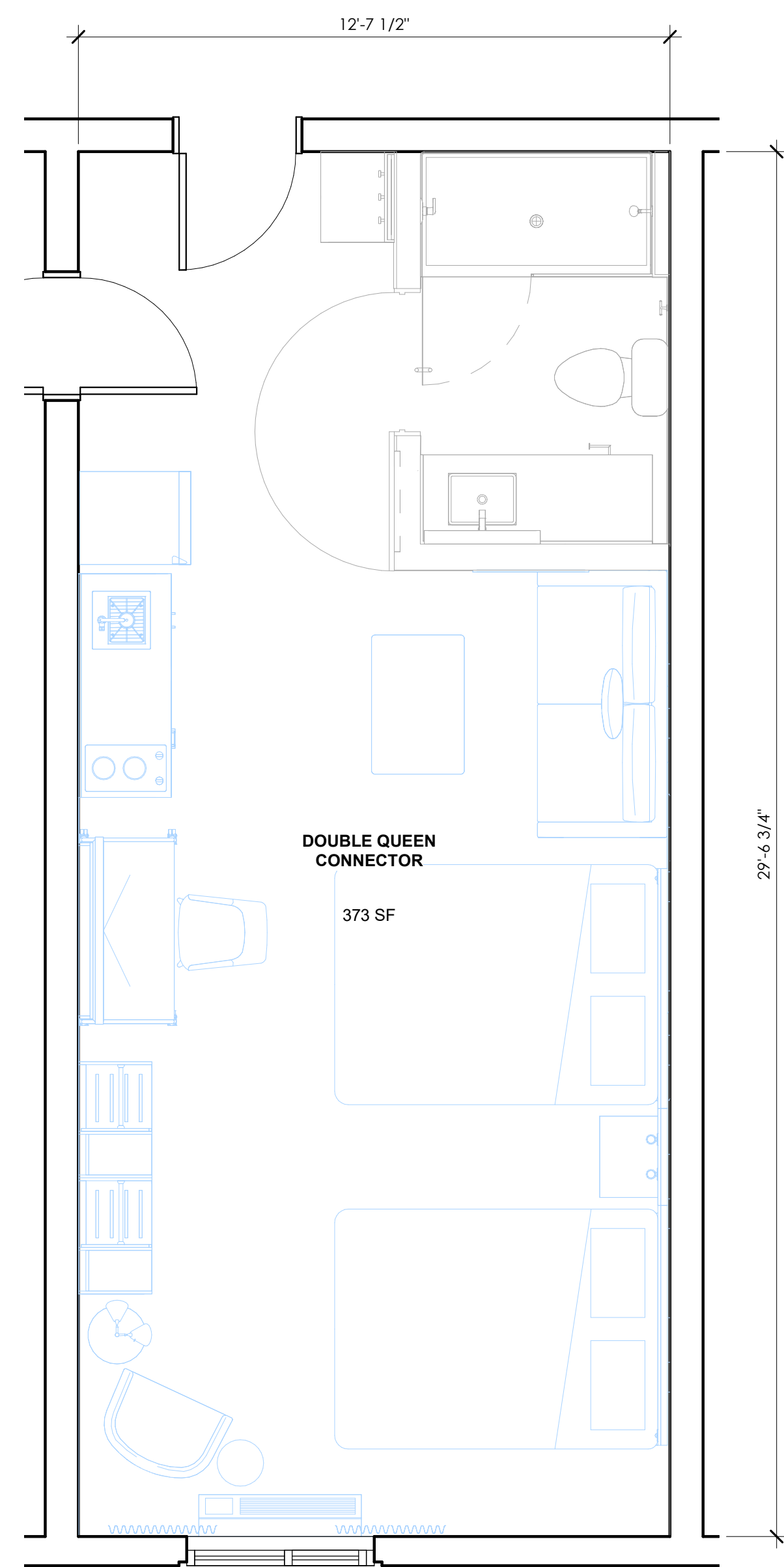


BUILDING SECTION -2 3/32" = 1'-0" **2**

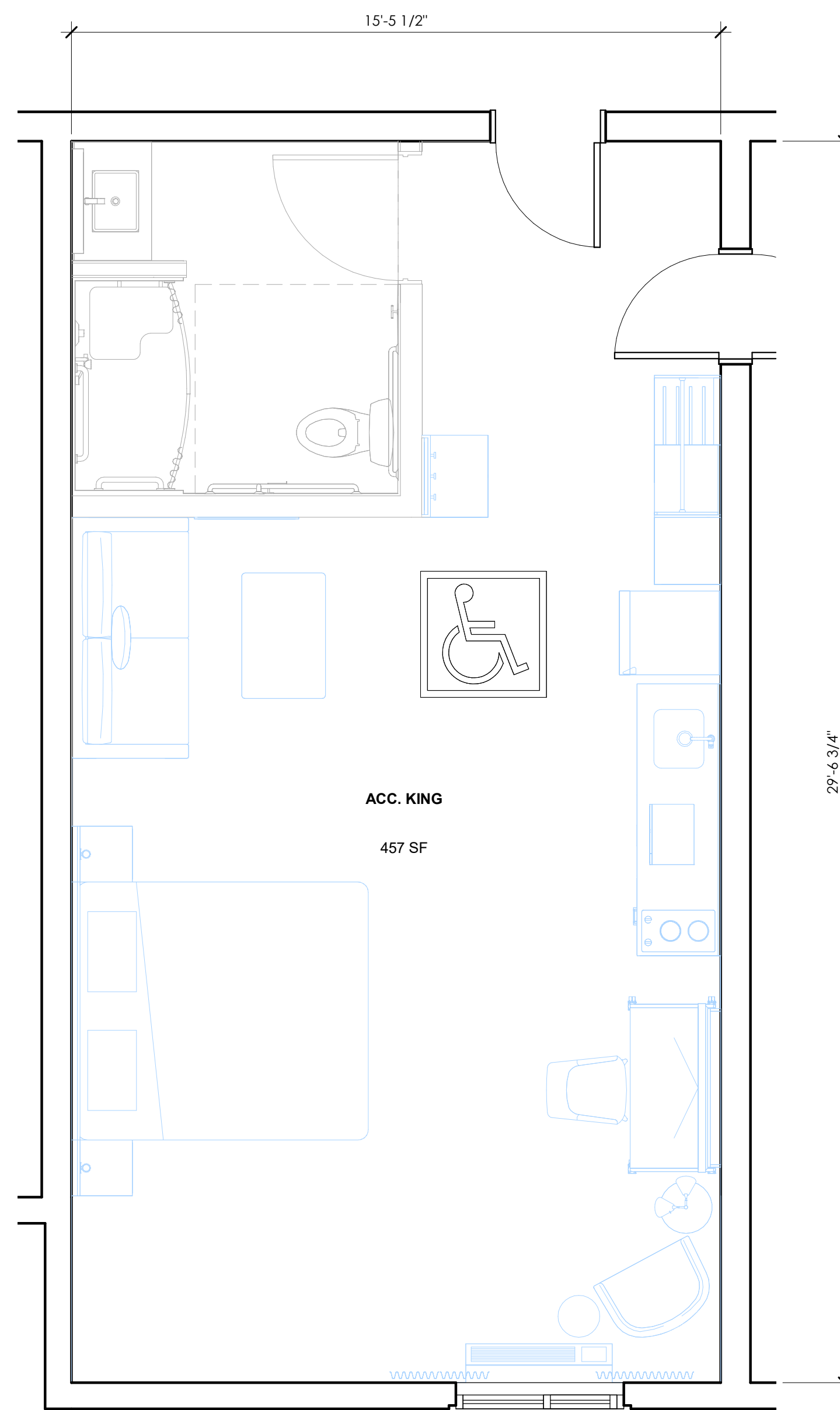


BUILDING SECTION -1 3/32" = 1'-0" **1**

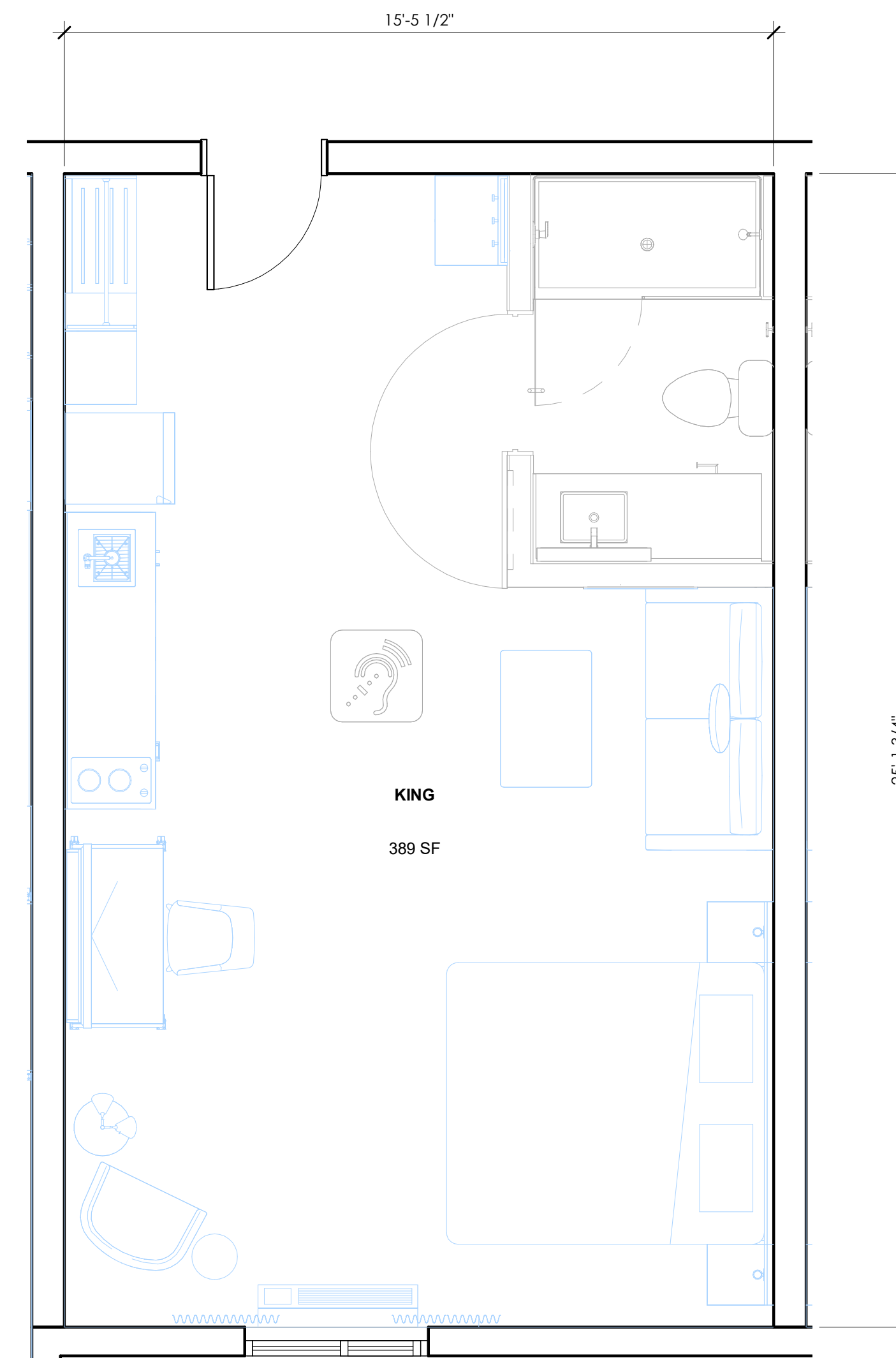




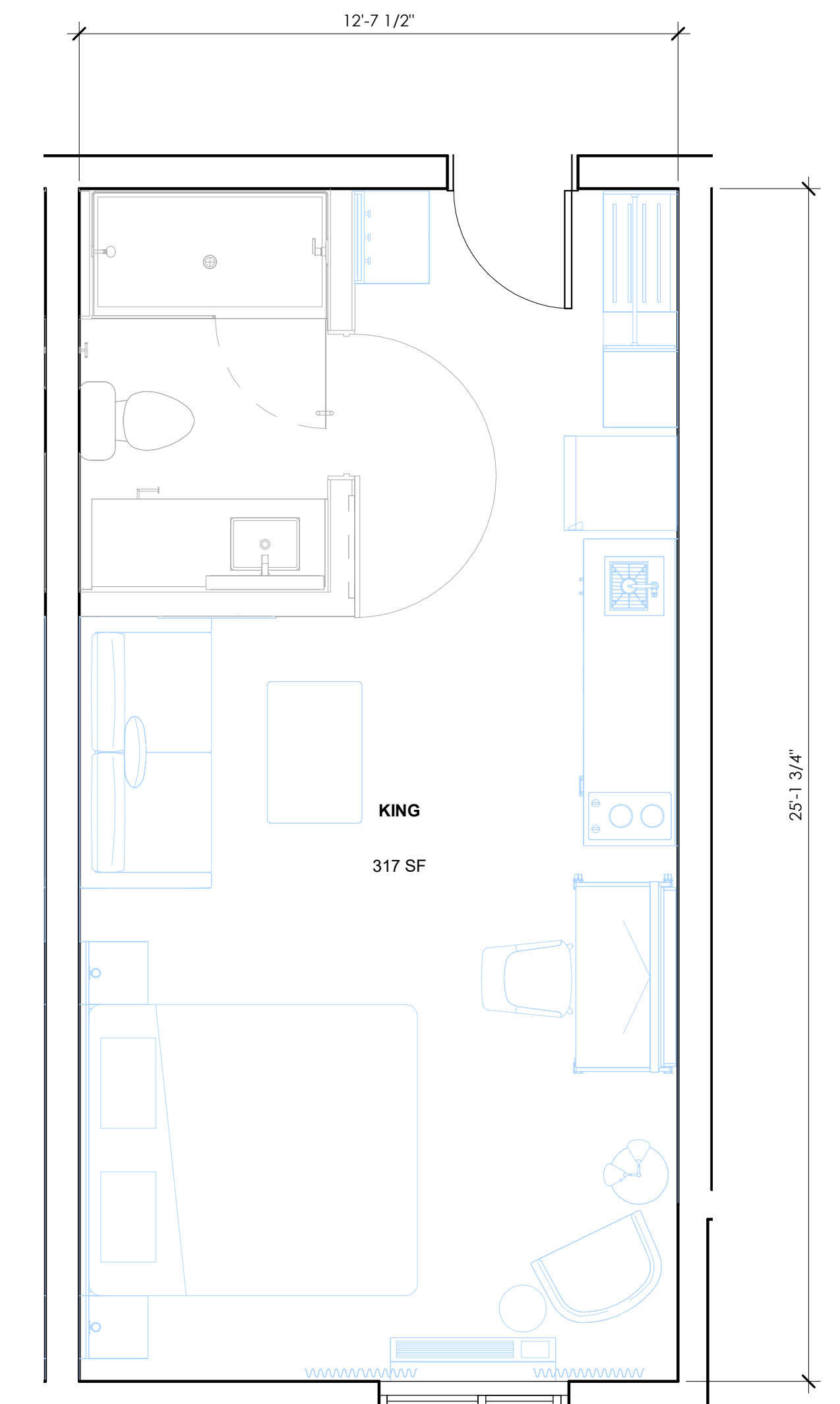
GUESTROOM - DOUBLE QUEEN CONNECTOR 3/8" = 1'-0" **4**



GUESTROOM - ACC. KING WIDE 3/8" = 1'-0" **3**

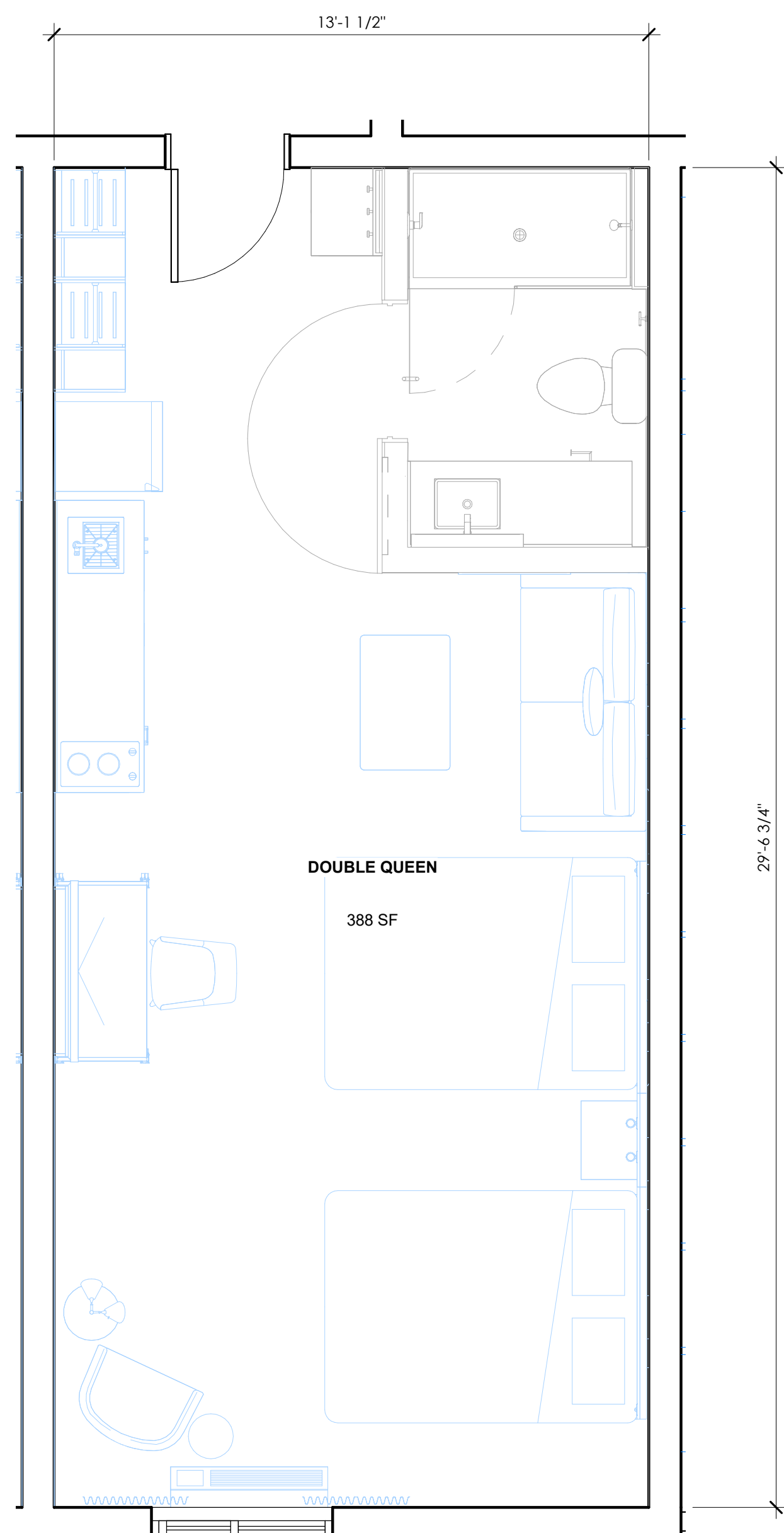


GUESTROOM - KING WIDE 3/8" = 1'-0" **2**

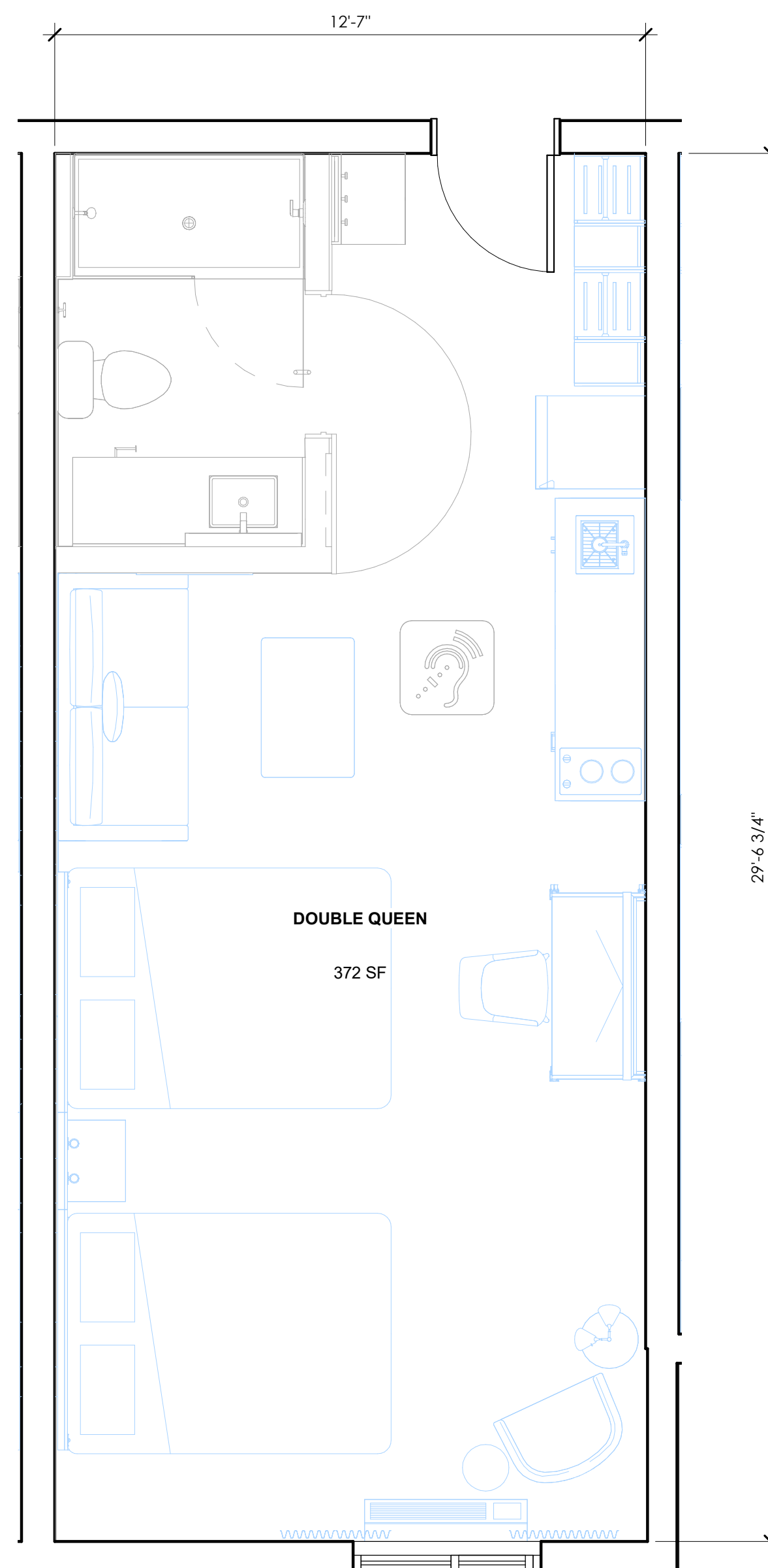


GUESTROOM - KING 3/8" = 1'-0" **1**

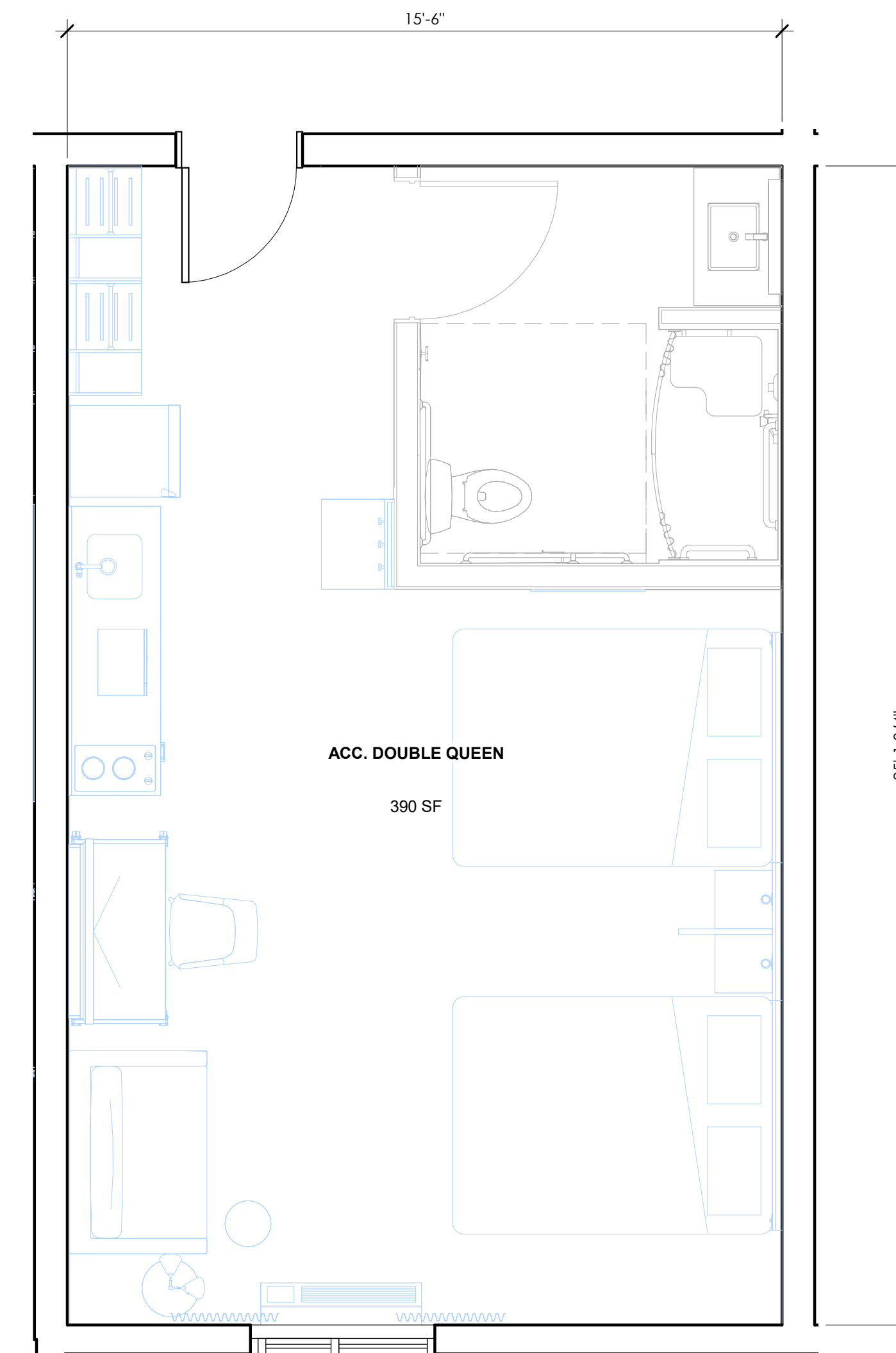




GUESTROOM - DOUBLE QUEEN  
WIDE 3  
3/8" = 1'-0"



GUESTROOM - DOUBLE QUEEN 2  
3/8" = 1'-0"



GUESTROOM - ACC DOUBLE  
QUEEN 1  
3/8" = 1'-0"



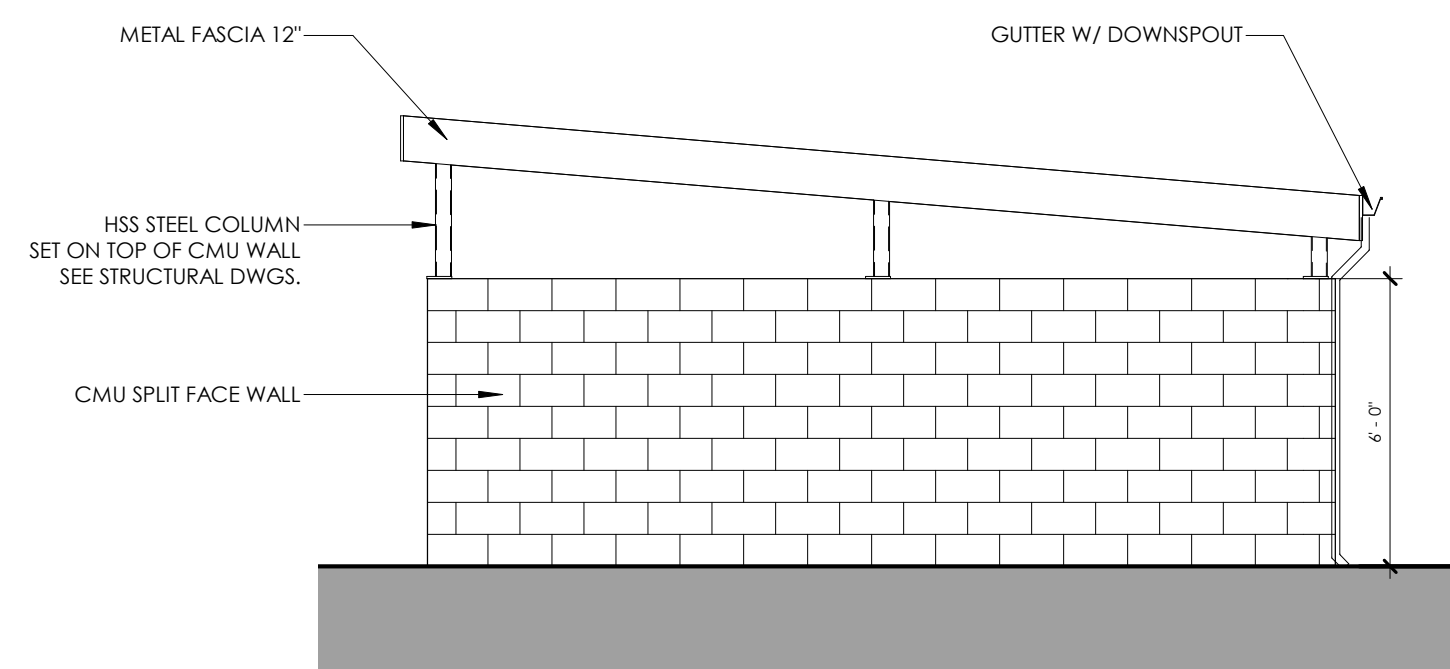


PERSPECTIVE VIEW - 1 **1**

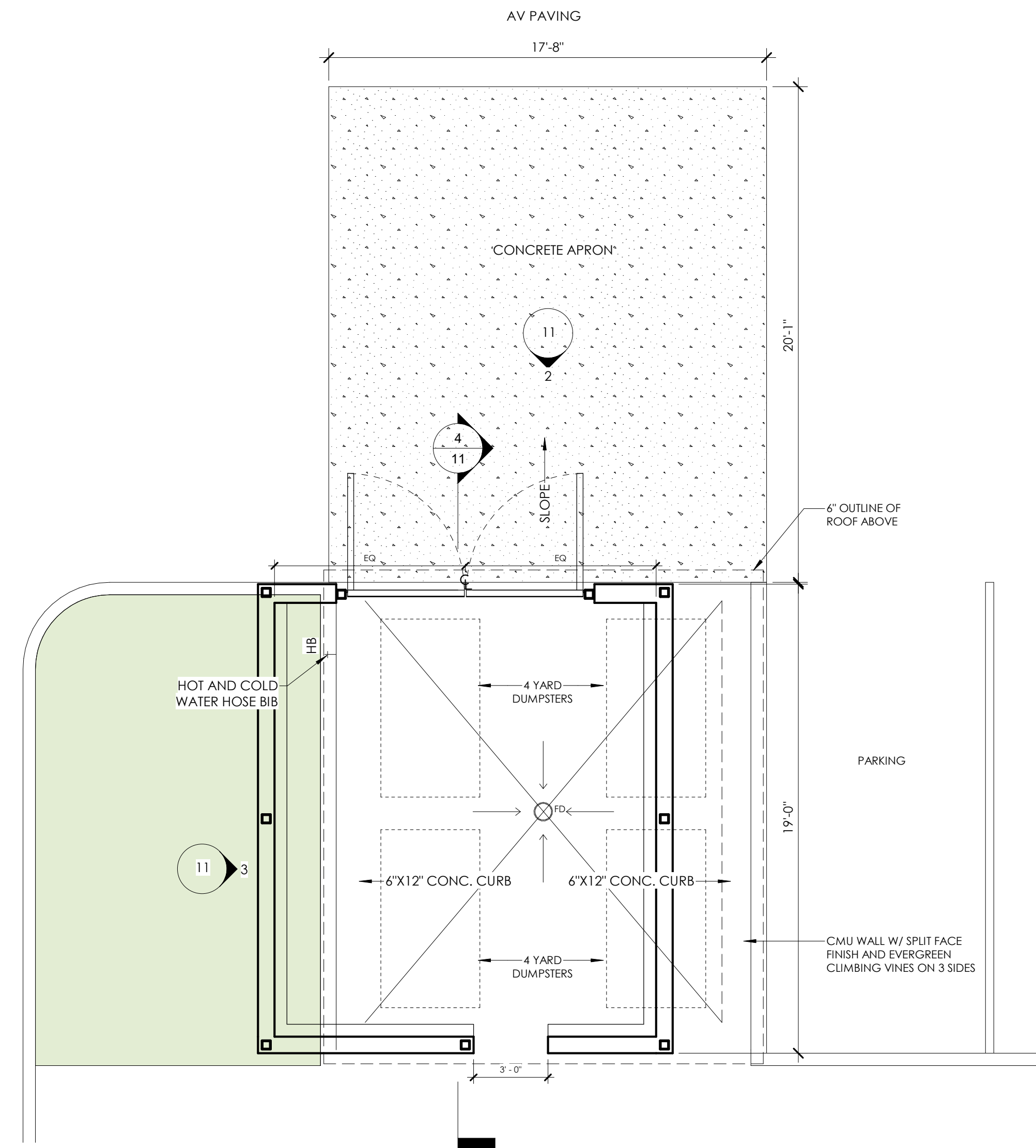


PERSPECTIVE VIEW - 2 **2**

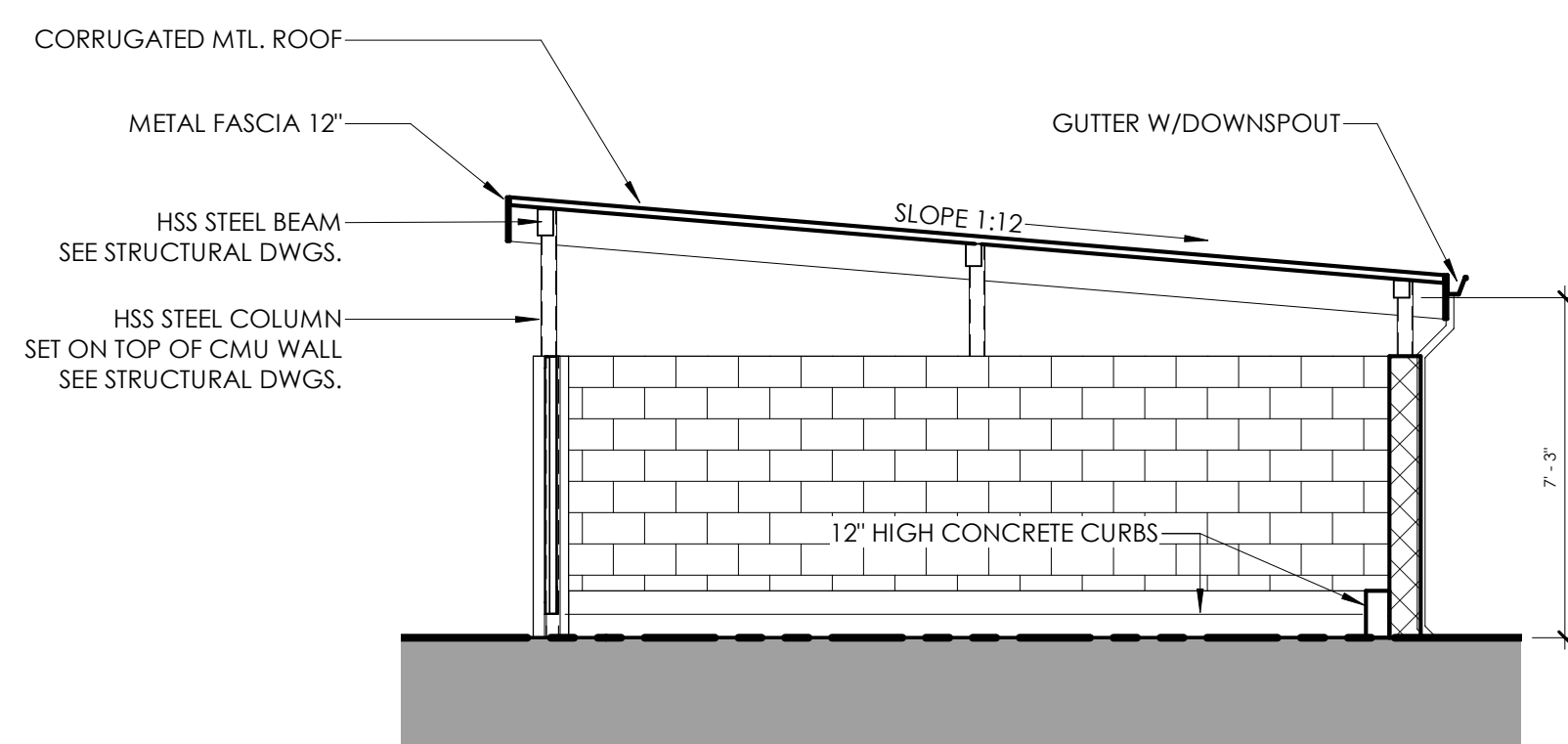




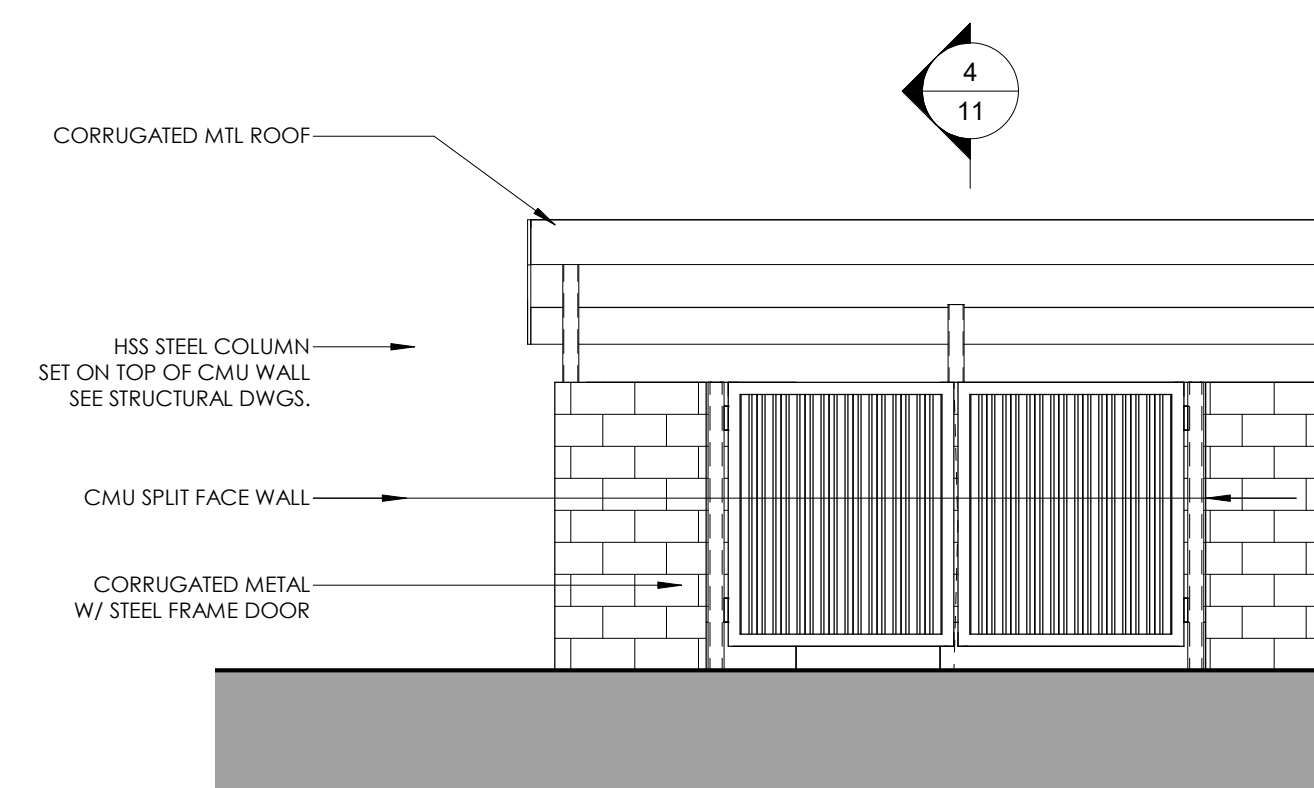
TRASH ENLCOSURE ELEVATION 1/4" = 1'-0" **3**



ENLARGED TRASH ENCLOSURE 1/4" = 1'-0" **1**



TRASH ENCLOSURE SECTION 1/4" = 1'-0" **4**



TRASH ENCLOSURE ELEVATION 1/4" = 1'-0" **2**





IMAGE 1- B STREET. EAST VIEW

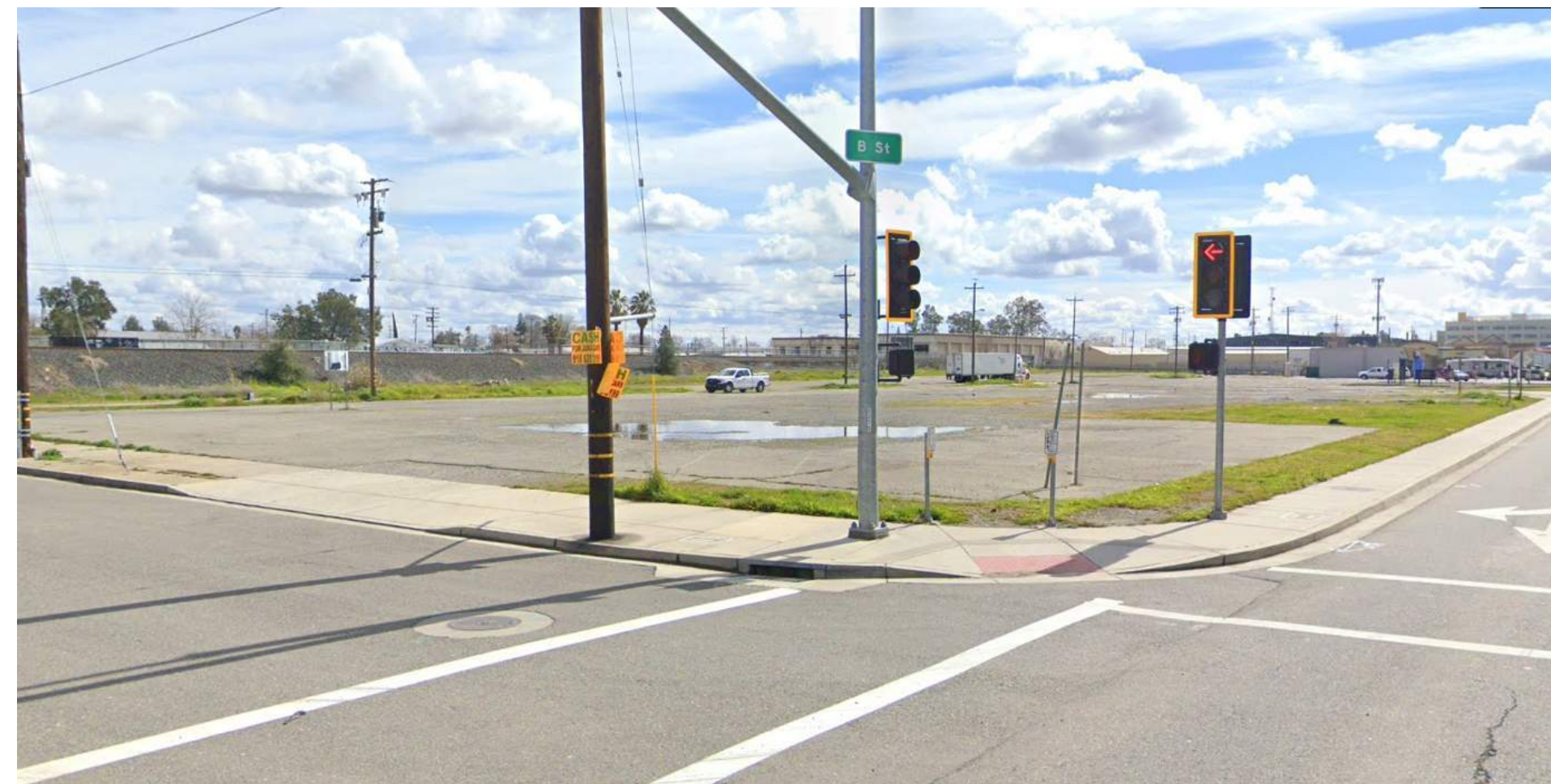


IMAGE 2- 14TH AND B STREET. SOUTHEAST VIEW



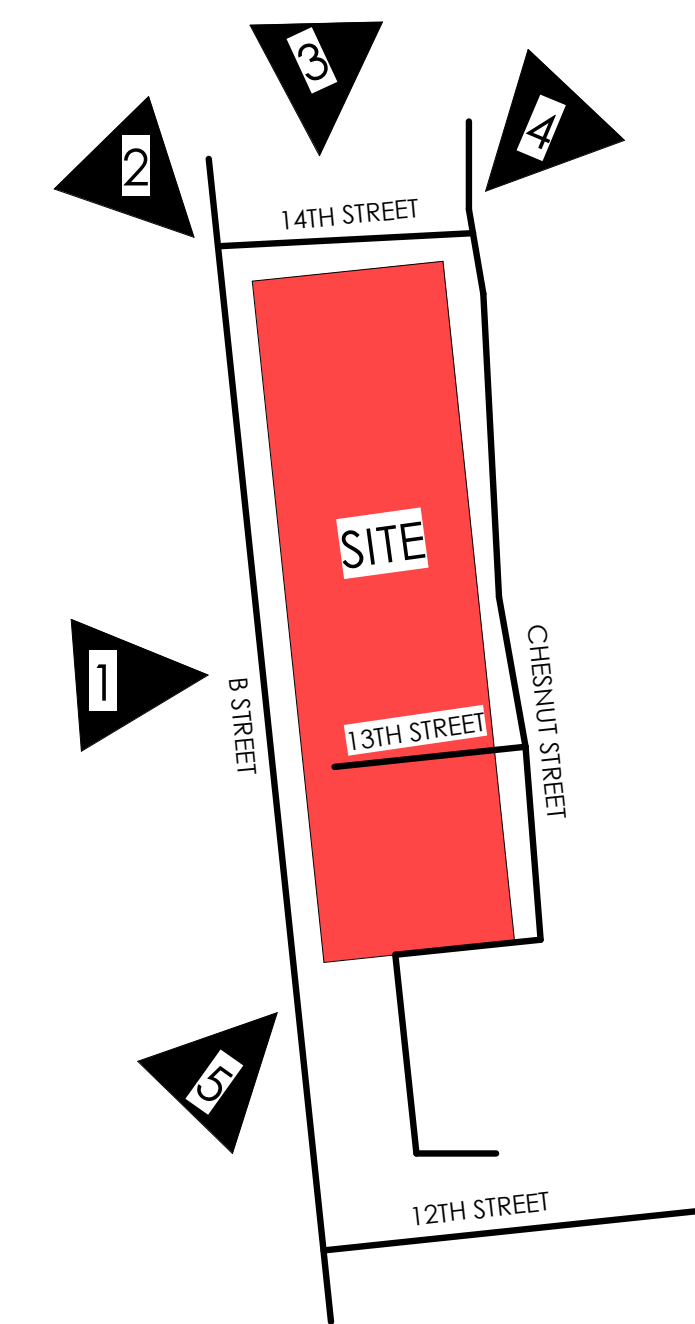
IMAGE 3- 14TH AND CHESNUT. SOUTHEAST VIEW



IMAGE 4- B STREET, SOUTH VIEW



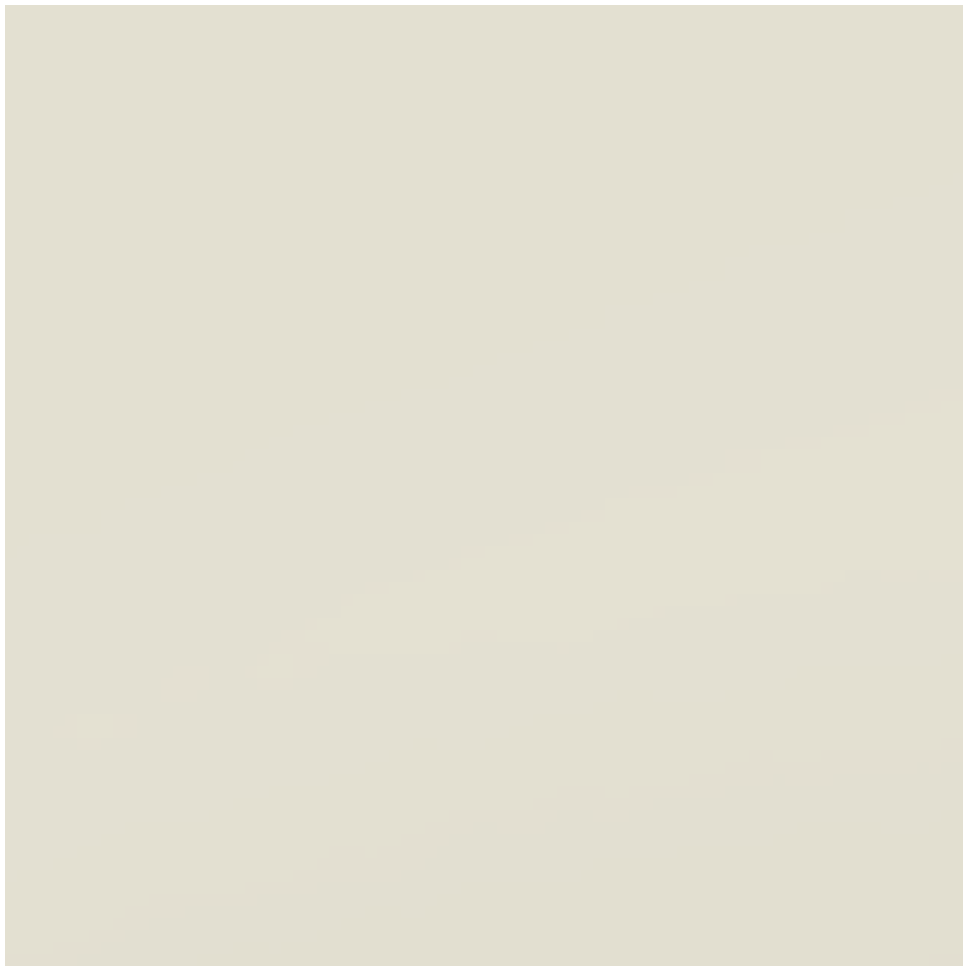
IMAGE 5- B STREET, CORNER AT GAS STATION. NORTHEAST VIEW



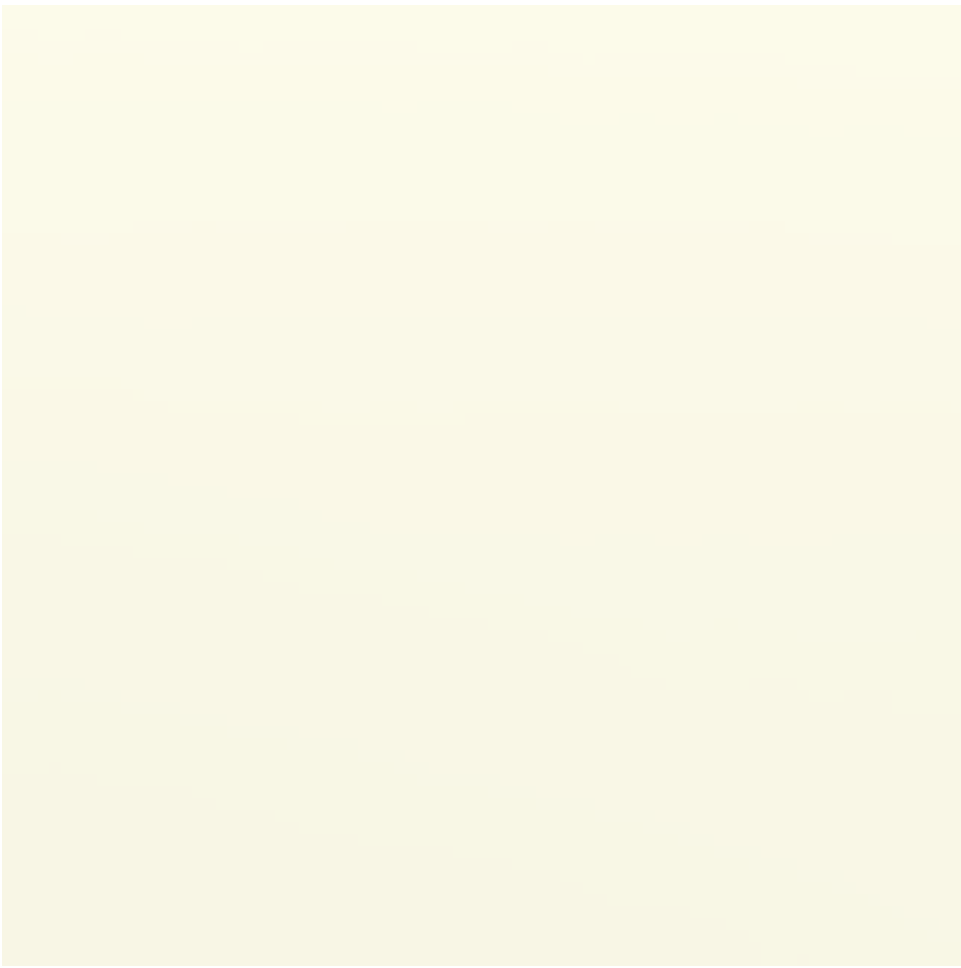
CONTEXT GUIDE



# MATERIAL BOARD



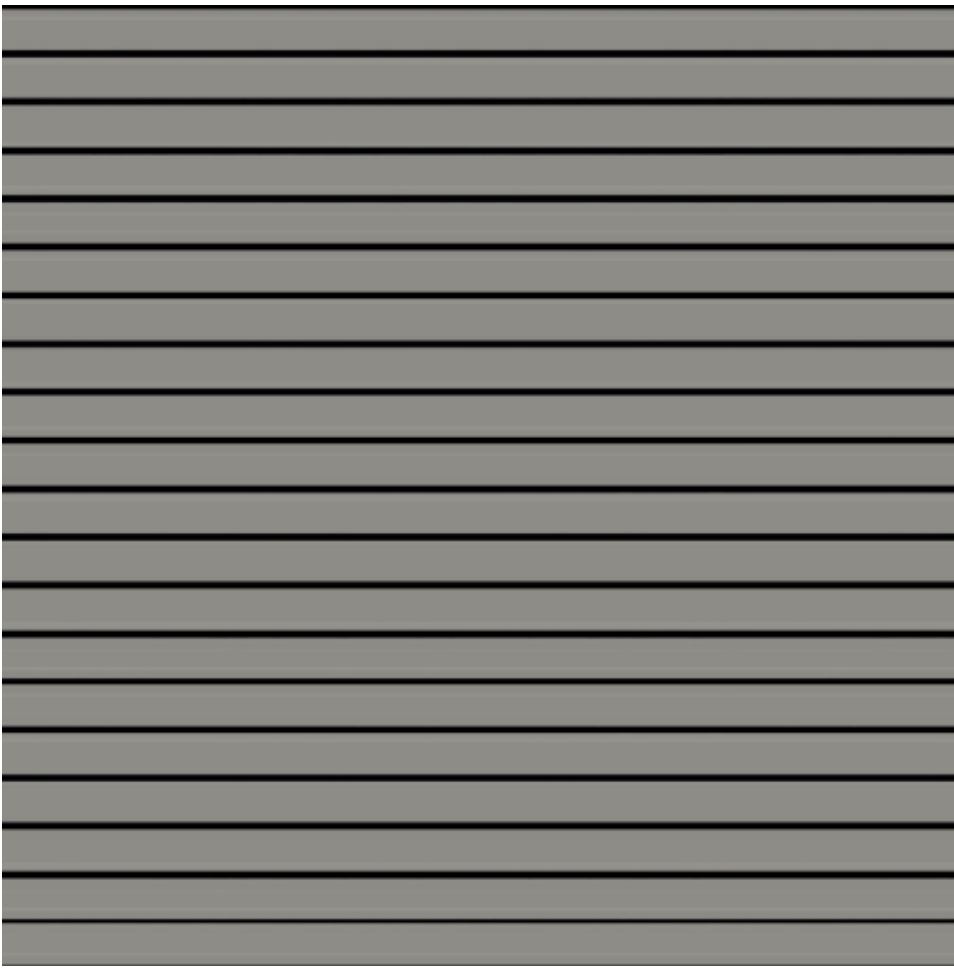
CEMENT PLASTER - 1  
COLOR: LIGHT GREY



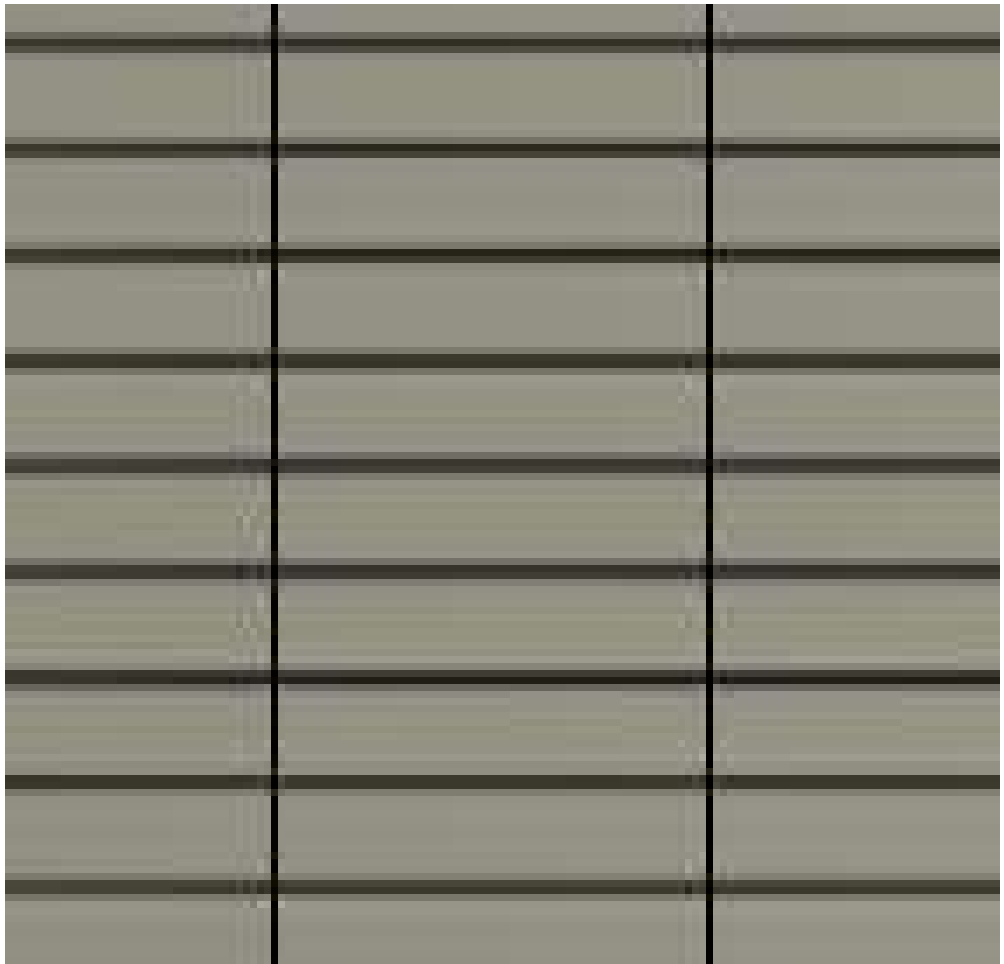
CEMENT PLASTER - 2  
COLOR: WHITE



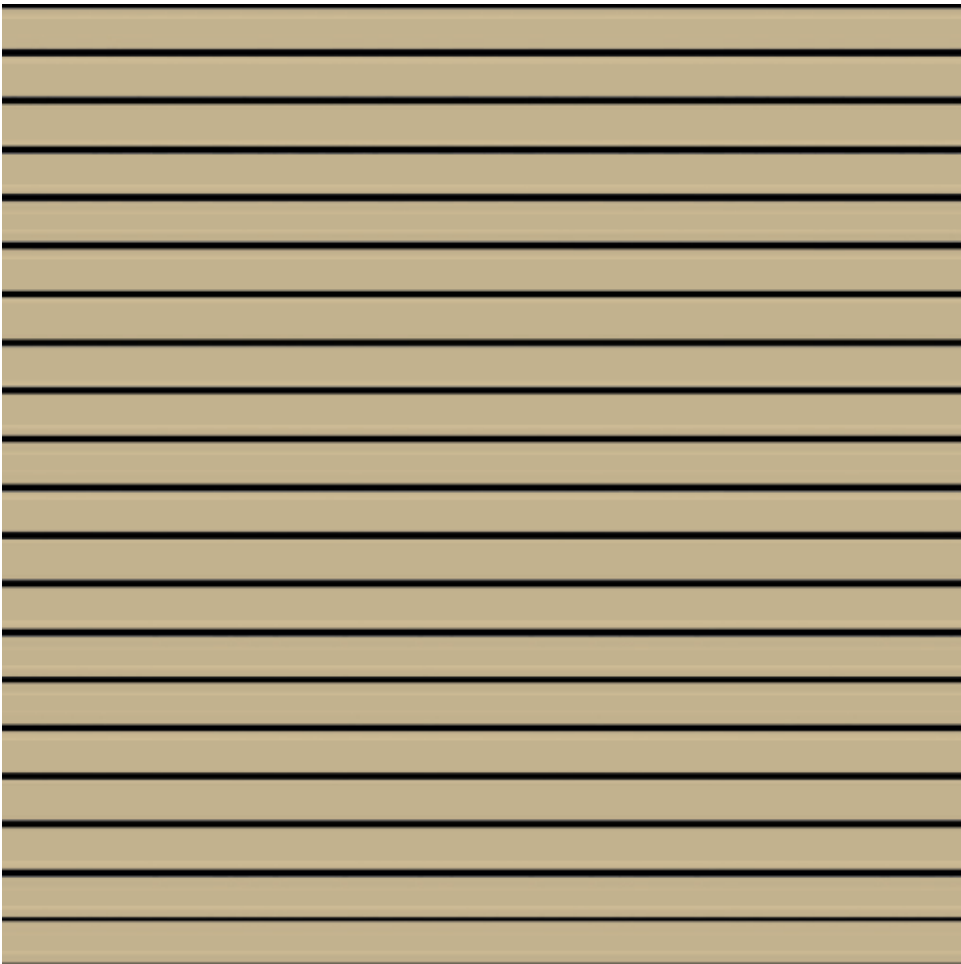
CEMENT PLASTER - 3  
COLOR: DARK GREY



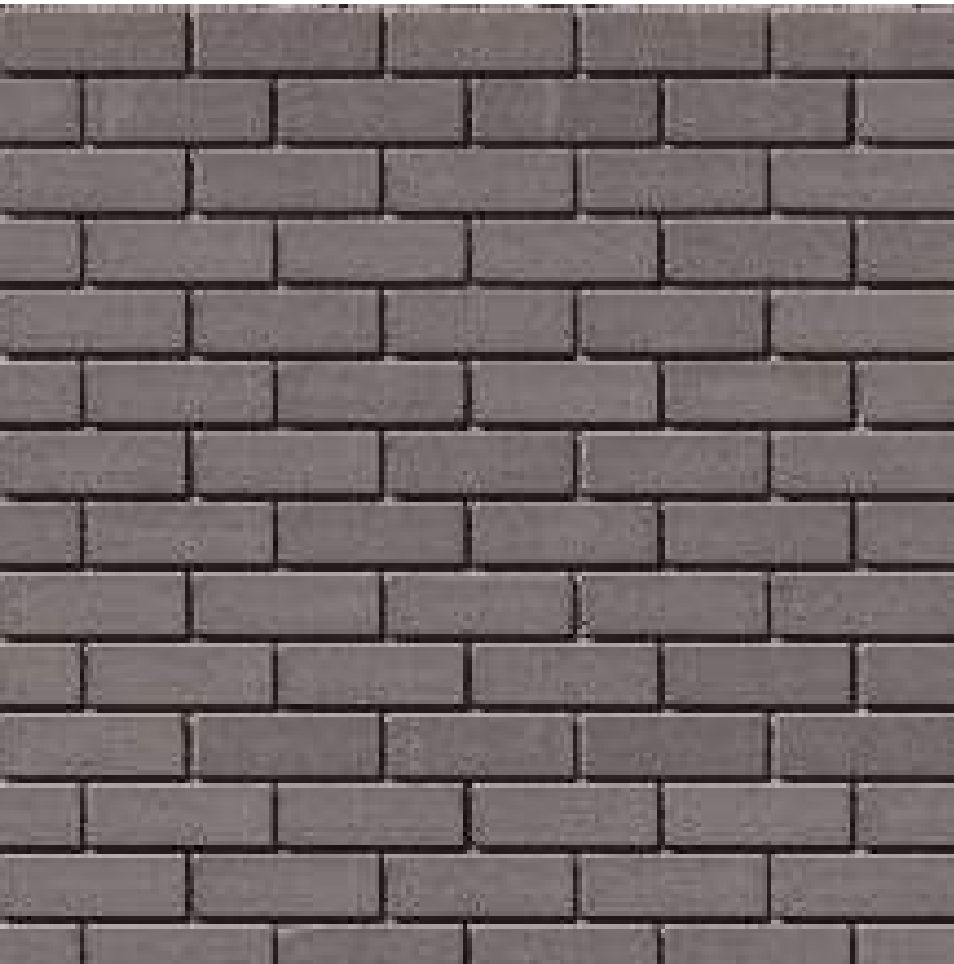
CEMENT SIDING - 1  
COLOR DARK GREY  
NARROW SPACING



CEMENT BOARD SIDING - 2  
COLOR: DARK GREY  
WIDE SPACING



CEMENT BOARD SIDING - 3  
COLOR: BROWN  
NARROW SPACING



THIN BRICK - 1



REVISIONS	BY

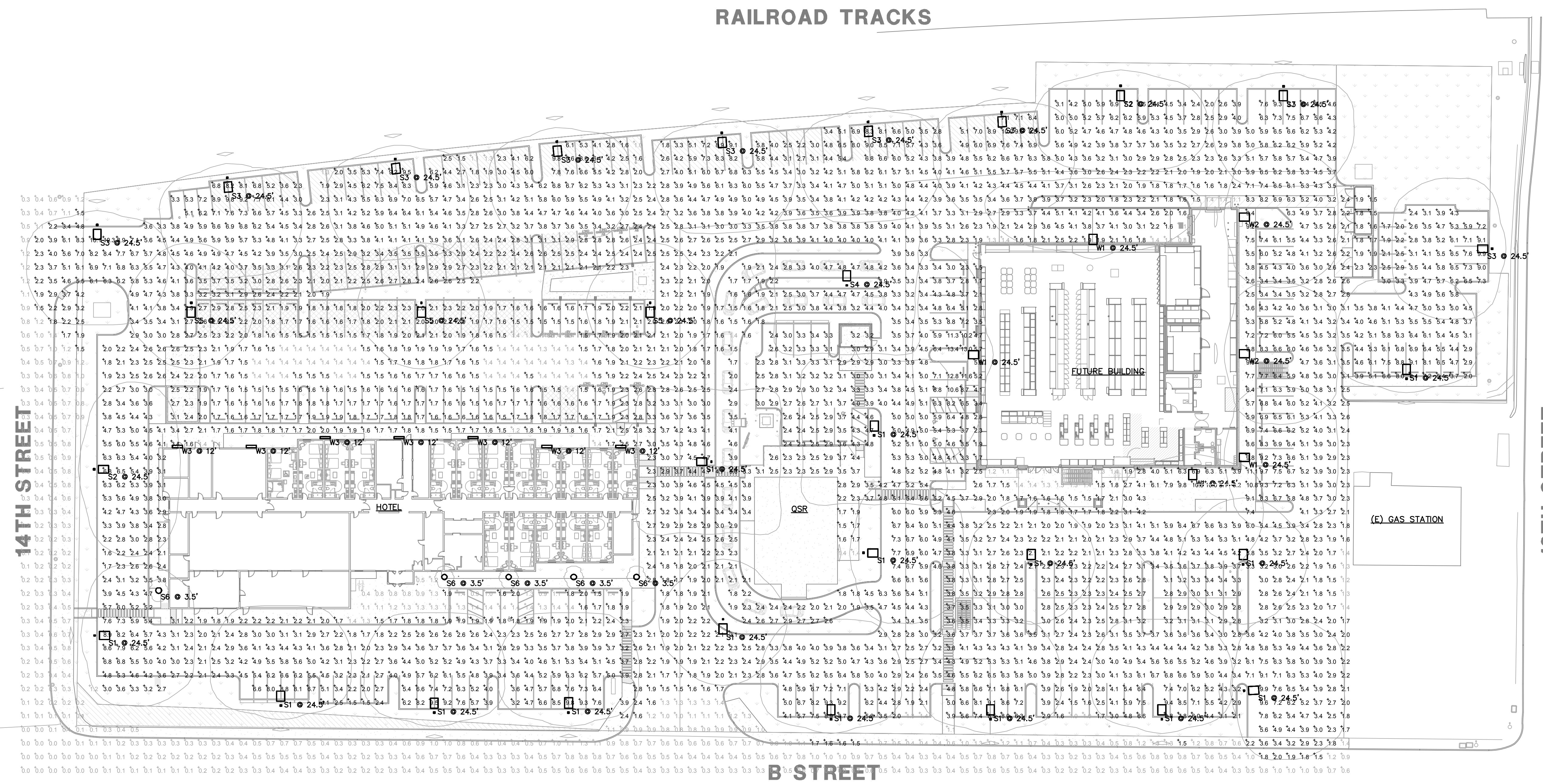
SITE LIGHTING PHOTOMETRICS

**Johnson Consulting**  
5220 Divot Circle  
Fair Oaks, CA 95628  
(916) 591-1910

PROJECT FOR:  
**DOWNTOWN MARYSVILLE HOTEL**  
B STREET, between 12th & 14th  
MARYSVILLE, CA 95901

**Date** 12-15-23  
**Scale** AS NOTED  
**Designed** WDJ  
**Checked** JHP  
**Job** B Street Development  
**Sheet**

**LE1**



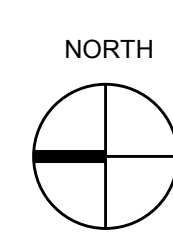
14TH STREET

12TH STREET

RAILROAD TRACKS

B STREET

**1 SITE LIGHTING PHOTOMETRICS**  
SCALE: 1" = 30'-0"



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	13.7c	13.4c	0.0c	NA	NA

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Wattage
□	S1	0	Lithonia Lighting	DSX2 LED P2 40K 80CRI AFR	D-Series Size 2 Area Luminaire P2 Performance Package 4000K CCT 80 CRI Automotive Front Row	24404	179.22
□	S2	2	Lithonia Lighting	DSX2 LED P2 40K 80CRI T4LG	D-Series Size 2 Area Luminaire P2 Performance Package 4000K CCT 80 CRI Type 4 Low G Rating	20428	179.22
□	S3	19	Lithonia Lighting	DSX2 LED P2 40K 80CRI T4LG	D-Series Size 2 Area Luminaire P2 Performance Package 4000K CCT 80 CRI Type 4 Low G Rating	21109	179.22
□	S4	3	Lithonia Lighting	DSX2 LED P2 40K 80CRI T4LG	D-Series Size 2 Area Luminaire P2 Performance Package 4000K CCT 80 CRI Type 5 Low G Rating	23949	179.22
□	S5	6	Lithonia Lighting	DSX2 LED P2 40K 80CRI T5M	D-Series Size 2 Area Luminaire P2 Performance Package 4000K CCT 80 CRI Type 5 Medium	23880	179.22
○	S6	5	SIGNIFY - GARDCO	PBL14L160-NW-G2-S-LNV	Pureform Gen2 - PBL Bolted	538	6.1
□	W1	2	Lithonia Lighting	DSX2 LED P2 40K 80CRI AFR	D-Series Size 2 Area Luminaire P2 Performance Package 4000K CCT 80 CRI Automotive Front Row	24404	179.22
□	W2	4	Lithonia Lighting	DSX2 LED P2 40K 80CRI T4LG	D-Series Size 2 Area Luminaire P2 Performance Package 4000K CCT 80 CRI Type 4 Low G Rating	21109	179.22
□	W3	7	Lithonia Lighting	DSXW1 LED 10C 350-40K TSM MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE TSM OPTIC, 4000K, @ 350mA	1488	13.3

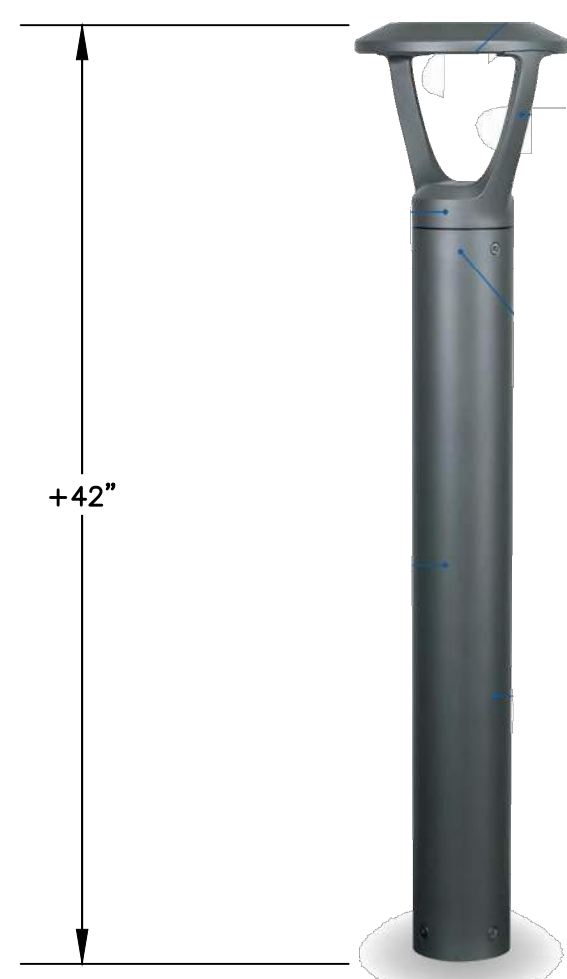




1 SITE WALL LUMINAIRES 'W1' & 'W2'  
LE2 SCALE: NONE



2 SITE POLE LUMINAIRES 'S1', 'S2', 'S3' & 'S4'  
LE2 SCALE: NONE



3 SITE BOLLARD LUMINAIRES 'S5'  
LE2 SCALE: NONE

REVISIONS	BY

SITE LIGHTING DETAILS

**Johnson Consulting**  
5320 Divot Circle  
Fair Oaks, CA 95628  
(916) 591-1910

PROJECT FOR:  
DOWNTOWN MARYSVILLE HOTEL  
B STREET, between 12th & 14th  
MARYSVILLE, CA 95901

Date	12-15-23
Scale	AS NOTED
Designed	WDJ
Checked	JHP
Job	B Street Development

Sheet  
**LE2**





**PARKING LOT SHADE CALCULATIONS:**

TREE TYPE	AREA/ FULL	QUANTITY				SUBTOTAL	TOTAL
		FULL	3/4	1/2	1/4		
<b>20' DIA. TREES</b>							
CERCIS RENIFORMIS	314 S.F.	9	3	3	0	4004 S.F.	
CHILOPSIS LINEARIS	314 S.F.	9	3	6	1	4553 S.F.	
						<b>20' TOTAL:</b>	<b>8557 S.F.</b>
<b>25' DIA. TREES</b>							
OLEA EUROPEA	490 S.F.	0	0	6	0	1470 S.F.	
ULMUS PROPINQUA	490 S.F.	8	1	0	0	4288 S.F.	
						<b>25' TOTAL:</b>	<b>5758 S.F.</b>
<b>35' DIA. TREES</b>							
CEDRUS DEODARA	962 S.F.	2	0	3	0	3367 S.F.	
PISTACHIA CHINENSIS	962 S.F.	14	2	9	0	19240 S.F.	
PLATANUS ACERIFOLIA	962 S.F.	0	0	10	0	4810 S.F.	
QUERCUS ILEX	962 S.F.	19	1	1	0	19481 S.F.	
SCHINUS MOLLE	962 S.F.	0	2	6	0	4329 S.F.	
						<b>35' TOTAL:</b>	<b>51227 S.F.</b>
						<b>PARKING AREA:</b>	<b>125979 S.F.</b>
						<b>SHADE REQUIRED: 50%</b>	<b>62989 S.F.</b>
						<b>SHADE PROVIDED: 52%</b>	<b>65541 S.F.</b>

**PLANT LIST & LEGEND**

SYMBOL	BOTANIC NAME/COMMON NAME	W.U.C.O.S. IV	WATER USE	SIZE
	CEDRUS DEODARA/DEODAR CEDAR		LOW	15 GALLON
	CERCIS RENIFORMIS 'OKLAHOMA'/REDBUD		LOW	15 GALLON
	CHILOPSIS LINEARIS 'TIMELESS BEAUTY'/DESERT WILLOW		VERY LOW	15 GALLON
	OLEA EUROPEA 'MAJESTIC BEAUTY'/FRUITLESS OLIVE		VERY LOW	15 GALLON
	PISTACHIA CHINENSIS/CHINESE PISTACHE		LOW	15 GALLON
	PLATANUS ACERIFOLIA 'YARWOOD'/LONDON PLANETREE		MEDIUM	15 GALLON
	QUERCUS ILEX/HOLLY OAK		LOW	15 GALLON
	SCHINUS MOLLE/CALIF. PEPPER		LOW	15 GALLON
	ULMUS PROPINQUA 'EMERALD SUNSHINE'/HYBRID ELM		LOW	15 GALLON
	<b>SHRUB &amp; GROUND COVER AREA:</b>			
	ARCTOSTAPHYLOS D. 'HOWARD McMINN'/MANZANITA*		LOW	5 GALLON
	BACCHARIS PILULARIS 'PIGEON POINT'/DWF. COYOTE BRUSH*		LOW	1 GALLON
	CHONDROPETALUM TECTORUM/DWF. CAPE RUSH*		LOW	5 GALLON
	CISTUS COBARIENSIS 'LITTLE MISS SUNSHINE'/YELLOW ROCKROSE		LOW	5 GALLON
	CISTUS HYBRIDUS/WHITE ROCKROSE		LOW	5 GALLON
	CISTUS SALVIIFOLIUS/SAGELEAF ROCKROSE		LOW	1 GALLON
	CALLISTEMON V. 'LITTLE JOHN'/DWF. BOTTLE BRUSH		LOW	5 GALLON
	CAREX DIVULSA/EURASIAN GRAY SEDGE*		LOW	1 GALLON
	DIETES BICOLOR		LOW	1 GALLON
	DIANELLA REVOLUTA 'ALLYN-CITATION'/COOLVISTA FLAX LILY		LOW	1 GALLON
	GAZANIA X. 'MITSUA YELLOW'/GAZANIA		LOW	1 GALLON
	JUNIPERUS C. 'SAN JOSE'/SAN JOSE JUNIPER		LOW	1 GALLON
	LOMANDRA LONGIFOLIA 'LOMLON'/LIME TUFF MAT RUSH		LOW	1 GALLON
	LANTANA MONTEVIDENSIS/LANTANA		LOW	5 GALLON
	MACFADYENA UNGUIS-CATI/CATS CLAW VINE		LOW	5 GALLON
	MAHONIA A. 'COMPACTA'/COMPACT OREGON GRAPE		LOW	5 GALLON
	NERIUM O. 'DWARF RED'/PETITE RED OLEANDER		LOW	5 GALLON
	NANDINA DOMESTICA 'GULF STREAM'/DWF. HEAVENLY BAMBOO		LOW	5 GALLON
	ROSA CALIFORNICA/WILD ROSE		LOW	5 GALLON
	ROSA X. 'MEJOCOS'/PINK DRIFT ROSE		LOW	1 GALLON
	TEUCRIUM CHAMAEDRY'S/DWARF GERMANDER		LOW	1 GALLON
	TULBAGHIA VIOLACEA/SOCIETY GARLIC		LOW	1 GALLON
	YUCCA X. 'SILVER ANNIVERSARY'/SILVER ANNIVERSARY SOAPWORT		LOW	2 GALLON

NOTE: PLANTS MARKED W/ "\*" ARE SUITABLE FOR BIORETENTION PLANTER AREAS.

REVISIONS

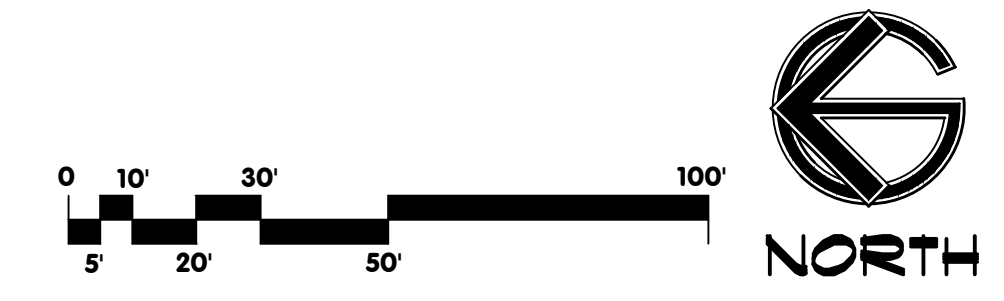
Date	Description

PROJECT FOR:  
**DOWNTOWN MARYSVILLE HOTEL**  
B Street, between 12th & 14th  
Marysville, CA

**McCANDLESS & ASSOCIATES ARCHITECTS, INC.**  
424 1/2 FIRST STREET, SUITE 204  
WOODLAND, CA 95695  
www.mccandless.com  
PH: (916) 467-9446

LANDSCAPE PLAN  
**PRELIMINARY**  
NOT FOR CONSTRUCTION

DRAIN	GR
CHECKED	GR
DATE	JANUARY 10, 2024
SCALE	1"=30'-0"
JOB #	22-165 (430/16)
SHEET	L100



Garth Ruffner Landscape Architect (916) 797-2576  
4120 Douglas Blvd., Suite 204, Roseville, CA 95742-3356  
GarthRuffner.com California R.L.A. #2808