



CITY OF MARYSVILLE  
**HISTORIC DESIGN STANDARDS**  
FEBRUARY 2025





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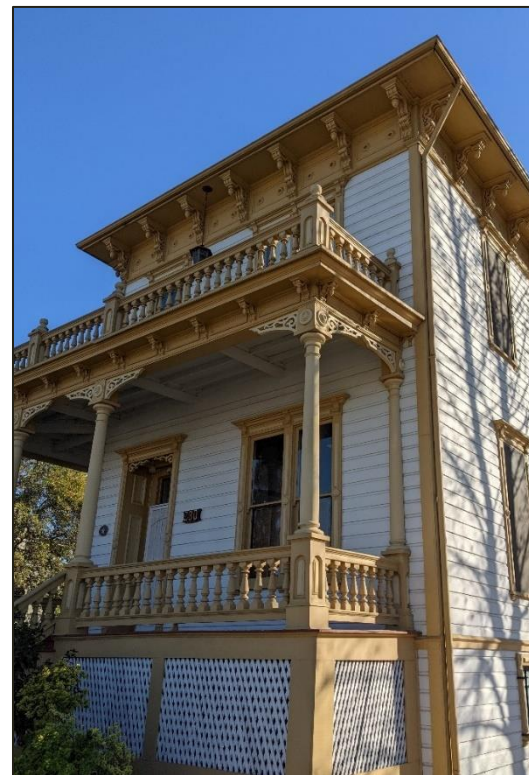
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## Introduction

The city of Marysville has a unique sense of place. Initially developed during the Gold Rush, the town had a population of almost 10,000 and more than 200 brick buildings constructed by 1856. Marysville's Chinatown was the first of more than 30 Chinatowns established during the Gold Rush and served as the cultural, economic, social, and political hub for Marysville and the Chinese communities in the region. Downtown development was centered on D and E Streets as the shopping district. Throughout the first half of the 20<sup>th</sup> century, Marysville was the region's economic center for shopping, entertainment, and jobs.

In the post-World War II period, Downtown changed drastically. Storefronts were modernized and facades of buildings were altered. By 1977, half of the buildings between First and Sixth Streets and C and E Streets were demolished for surface parking lots and redevelopment projects. In response to the significant losses of fine structures and areas that occurred due to both "commercial development and neglect," and the increasing concern that [historic] architecture would "fall prey to the development pressures experienced to a much greater degree elsewhere," the City enacted a historic preservation ordinance to identify buildings with historic, architectural, or engineering significance and provided a level of protection to them (City of Marysville 1978<sup>1</sup>). To identify buildings that were "significant [to] the cultural fabric of the city," every building within the city limits constructed before 1930 was surveyed in the first historic resource inventory of the city in 1978 (City of Marysville 1978).



**Figure 1. Italianate style house in the city of Marysville**

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<sup>1</sup> City of Marysville. 1978. Marysville Historic Building Survey.

Into the 1980s and 1990s, 19<sup>th</sup>-century buildings throughout Downtown and Chinatown deteriorated through neglect and were demolished or removed for redevelopment. An estimated 200 structures within the commercial area of Marysville were demolished between the 1940s and 1990s. However, in 1998, a significant number of surviving historic buildings were identified to create the Marysville Historic Commercial District, upon the merit that they contributed to a traditional downtown atmosphere through the arrangement of the buildings – contiguous facades that front the sidewalk, a predominance of retail uses, uniformity of scale, and retention of original design above the storefronts. Despite substantial remodeling to several buildings and demolition of other structures, the district has maintained its historic character and was listed in the National Register of Historic Places in 1999.

In 2021, a reconnaissance-level survey of the Marysville Historic Commercial District was undertaken to confirm the number of contributors and non-contributors to the district. One building was recommended as no longer a contributor for lack of historic integrity due to alterations, and another building that was previously identified as a non-contributor was recommended as meeting the requirements as a contributor. The historical significance of buildings and structures within the district may change over time due to exterior alterations; therefore, the status of contributors and non-contributors to the district can be updated.

In 1996, the City of Marysville adopted the *Design Review Manual* as an implementation document for the City of Marysville's General Plan, Redevelopment Program, Zoning Ordinance, and Historic Preservation Ordinance. However, the manual was created before the identification of the commercial historic district and was not written in a way that is consistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties* (Secretary's Standards). The Secretary's Standards were developed by the National Park Service as a series of historic preservation standards and guidelines that apply to a wide variety of historic properties across the country.

This document – the *City of Marysville Historic Design Standards* – wholly supersedes the 1996 *Design Review Manual*. The City has thoroughly reviewed and addressed all relevant topics for future development, ensuring that all necessary historic design considerations and procedural steps are now included in this updated document, which also aligns with the locally applicable aspects of the Secretary of the Interior's Standards.

## Objectives

The dual objectives of this document are (1) to provide clear standards for infill development and (2) preserve, protect, and enhance buildings and sites with historical value and within designated historic districts. The standards provide clear and consistent guidance for projects in order to maintain compatibility with the character and history of the area, while accommodating the needs of contemporary uses.

Before providing the standards for historic development in Marysville, two important components of context may be helpful to the reader: the Secretary of the Interior's Standards and the California Historical Building Code. A brief description follows.



Figure 2. Circa 1920s view of D Street in Downtown Marysville



Figure 3. Circa 1970s view of D Street in Downtown Marysville

## Secretary of the Interior's Standards

The *City of Marysville Historic Design Standards* are based on and consistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties* and the associated Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings (Secretary's Standards).<sup>2</sup>

Of the four treatments listed in *the Secretary of the Interior's Standards for the Treatment of Historic Properties*, the Standards for Rehabilitation allow for the most flexibility. Projects that apply the Standards for Rehabilitation acknowledge the need to alter or add to a historic building to meet continuing or new uses while retaining the building's historic character. The Rehabilitation Standards consist of 10 principles, which follow.

Generally, projects that are limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of historical resources and meet the *Secretary's Standards* can be considered to not result in a significant impact to an identified historical resource, and are typically categorically exempt from the California Environmental Quality Act (CEQA) (14 CCR Section 15331). In addition, projects on designated historic properties that meet the *Secretary's Standards* may be eligible for federal and state tax credits related to historic properties.

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<sup>2</sup> U.S. Department of the Interior. 2017. The Secretary of the Interior's Standards for the Treatment of Historic Properties. Available: <https://www.nps.gov/articles/000/treatment-standards-rehabilitation.htm>

## Secretary of the Interior's Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## California Historical Building Code

The ideal rehabilitation solution for a historical resource is to retain historic materials and character through the application of the Secretary of the Interior's Rehabilitation Standards, while simultaneously exceeding minimum life-safety standards. The California Historical Building Code (CHBC) provides solutions for the preservation, rehabilitation, restoration, relocation, and adaptive reuse of qualified historical buildings. The CHBC intends to promote sustainability and provide access for persons with disabilities and reasonable safety for the building occupants, including a cost-effective approach to facilitate the preservation and continued use of qualified historical buildings. The overall intent of the CHBC is to save California's architectural heritage by recognizing the unique construction challenges inherent in historical buildings and by providing a code to deal with these challenges.

The CHBC can be employed for code compliance for qualified historical buildings or properties<sup>3</sup> and offers the opportunity to bring properties into conformance with the standards of a local building code, while maintaining architectural and historical characteristics and features. The CHBC may be used in tandem with local municipal codes to provide solutions to facilitate the preservation of eligible historical buildings or properties. The CHBC can be used by any agency with jurisdiction whenever compliance with the code is useful in regulating proposed changes to qualified historical buildings or properties.

The state or local enforcing agency can apply the provisions of the CHBC when permitting repairs, alterations, and additions necessary for the preservation, restoration, reconstruction, rehabilitation, relocation, or continued use of a qualified historical building or property when elected by the private property owner.

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<sup>3</sup> California Health and Safety Code Section 18955 defines a "qualified historical building or structure" as "any structure or property, collection of structures, and their associated sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include structures on existing or future national, state or local historical registers or official inventories, such as the National Register of Historic Places, State Historical Landmarks, State Points of Historical Interest, and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks. This shall also include places, locations, or sites identified on these historical registers or official inventories and deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction."



While the CHBC provides regulations for the safety and functionality of historic buildings, it is primarily focused on ensuring that modern requirements are met in a way that preserves the building's historic elements and features. The CHBC does not cover every aspect of historic preservation, especially in terms of maintaining the historic integrity and the unique needs of preserving historic features. The Secretary of the Interior's Standards, or local historic design standards such as this *Historic Design Standards* document, address how to maintain the historical integrity of buildings and districts, while allowing for necessary improvements and new development.

This *Historic Design Standards* document provides more detailed guidance on how to approach the specific challenges of preserving historic properties in Marysville, going beyond the safety regulations of the CHBC to include design standards that protect the district and/or building's historical value.

## **Applicability of the City of Marysville Historic Design Standards**

In accordance with Section 18.87 and Section 18.94 of the Marysville Municipal Code, the *City of Marysville Historic Design Standards* apply to all applications involving the construction, alteration, or demolition of properties, buildings, and sites located within designated historic districts, and/or properties with historic significance as identified by local, state, or federal preservation authorities.<sup>4</sup>

In accordance with Section 18.87 and Section 18.94 of the Marysville Municipal Code, the City of Marysville Historic Design Standards are not applicable to any measures of construction, alteration, or demolition necessary to correct the unsafe or dangerous conditions of any historical resource where such condition has been declared unsafe or dangerous by any appropriate City public official or body, and where the proposed measures have been declared necessary by such official or body to correct the condition.

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<sup>4</sup> These properties – those with historic significance as identified by local, state, or federal preservation authorities are also referred to in this document as “qualified historic buildings.” California Health and Safety Code Section 18955 defines a “qualified historical building or structure” as “any structure or property, collection of structures, and their associated sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction.”



# DESIGN STANDARDS

The following City of Marysville Design Standards have been developed utilizing historic preservation and rehabilitation best practices to retain the historical integrity of individual qualified buildings, structures, and historic district contributors in an effort to retain the city's unique sense of place.



# Maintenance, Preservation and Rehabilitation of Contributing and Qualified Historic Buildings and Properties

## Exterior Architectural Details and Materials

- Retain and preserve historic decorative features, including historic architectural ornamentation and other character-defining features at street level and above such as cast iron fronts, cartouches, tiled storefront entries, decorative cornices, decorative brick detailing, prism glass, doors, pillars, pilasters, and other distinctive architectural details (such as Chinese ornamentation).
- Replacing (if repairable), removing, or covering historic decorative features is not permitted.
  - Repair historic decorative features where feasible, rather than replacing. If replacement is necessary due to deterioration beyond repair, new decorative features shall match the historic decorative feature in material, size, texture, scale, and color.
  - Replace in kind missing decorative features, where substantiated by documented evidence of their existence. If no documentation is available, such as historic photographs or physical evidence including remnant marks on the structure, the replacement design shall match the historic feature in material, design, scale, color, and finish.
- Do not damage, obstruct, or remove character-defining features or architectural details.
- Adding, replicating, or copying historical architectural details from other buildings to add to another historical building, where there is no documented evidence, is not permitted.



**Figure 4. Character-defining original cast iron storefront has been retained**



- Replacing or removing intact or repairable architectural features is not permitted.
- Removing inappropriate, non-historic architectural features and/or building materials that are not consistent with the historic design is permitted.
- Retain and preserve historic finishes.
  - Previously painted materials shall be repainted based on documented evidence of original color, if available.
  - Removing paint from historically painted features without repainting is not permitted.
- Retain and preserve historic masonry, including masonry elements such as walls, chimneys, and character-defining features of a building or property.
  - Historically unpainted masonry shall not be painted.
  - Adding brick chimneys, where there is no documented evidence of their existence, is not permitted.
  - Remove vegetation from historic masonry to prevent structural or moisture damage.
  - Using sandblasting, high-pressure water, and other abrasive cleaning methods on historic masonry is not recommended, and only permitted if other methods have been proven ineffective.



**Figure 5. Rehabilitation of 228 1st Street storefront retained the original doors**

- Replacing or covering historic masonry with a different material is not permitted.
- Repair existing historic masonry where feasible, rather than replacing. If replacement is necessary due to deterioration beyond repair, new masonry shall match the historic building in materials, size, texture, scale, and color.



**Figure 6. Historic masonry is retained on Third Street**

- Original material, where substantiated by documented evidence of their existence, shall be used when repairing or enhancing a building or structure.
  - Deteriorated portions of a building or structure shall be restored to its original scale and character, where feasible.
  - If replacement is necessary due to deterioration beyond repair, new materials shall match the historic features in materials, design, color, texture, and finish. Replacement with a substitute material shall be allowed if the substitute material matches in appearance and properties (such as finish and density) and not damage the remaining historic material, per the criteria described in National Park Service *Preservation Brief 16: The Use of Substitute Materials on Historic Building Exteriors*.
  - Non-historic materials such as vinyl siding or synthetic stucco, are not compatible substitute materials and are not permitted.
  - Cleaning original exterior material shall use the gentlest means available. Treatment that could cause damage to original material is not permitted.

## Roof Design and Materials

- Retain and preserve historic roofs form.
  - Modifying the slope or configuration of a historic roof is not permitted.
  - Decorative and functional features such as vents, corbels, dormers, finials, built-in gutters/downspouts, or other distinctive elements shall be preserved and repaired as necessary to prevent deterioration.
  - Repair existing historic roofs and roof features where feasible, rather than replacing. If replacement is necessary, replace only portions deteriorated beyond repair and with material that matches the historic material in color, shape, size, and texture.
- New roof features, such as skylights, shall not damage or obscure character-defining features as viewed from adjacent public rights-of-way and shall not be visible from adjacent public rights-of-way.



Figure 7. Retained historic roof form on D Street

## Doors and Windows

- Retain and preserve historic doors (including surrounds and entrance) and windows, including associated decorative features such as shutters.
  - Repair existing historic doors and windows where feasible, rather than replacing. If replacement is necessary due to deterioration beyond repair, new doors and windows shall match the historic features in the size, shape, materials, arrangement of panes, glazing in a door and/or door surrounds, method of construction, frame, sills, surrounds, and profile of the historic feature.

- Restoration of historic doors and windows that have been previously removed or altered is only permitted if based on documented physical evidence.
- If glass in historic doors and windows must be replaced, the new glass shall match the same visual characteristics as the historic glass.
- Removing non-historic doors and windows that are not consistent with the historic design is permitted, if they have not acquired significance over time. Replacement doors and windows shall match the historic features of the building or architectural style in the size, shape, materials, arrangement of panes, glazing in a door and/or door surrounds, method of construction, frame, sills, surrounds, and profile of the historic feature.

- Installing non-historic reflective coatings or dark tints on windows is not permitted.
- Altering the location, number, size, pattern, type (casement, single-or double-hung, etc.), or proportion of historic windows and doors on elevations visible from the public right-of-way is not permitted.
- Adding window shutters, where there is no documented evidence of their existence or historic use, is not permitted.



**Figure 8. The second-story wood-sheathed bay window negatively impacts the historic character of the building and smaller than the original replacement windows installed in the upper story, non-historic reflective coatings on windows applied (not permitted)**



# Building Features and Utilities

## Historic Storefronts

- Retain and preserve historic commercial storefronts and building facades including their component elements, such as display windows, bulkheads, transoms, configuration of the entry door, tiled floor entries, and other character-defining features.
- Repair existing historic storefronts where feasible, rather than replacing. If replacement is necessary due to deterioration beyond repair, new components shall match the historic features in materials, design, dimension, texture, and color.
- Restoration or reconstruction of historic storefront components, where substantiated by documented evidence of their existence, is permitted.
  - Replacement components shall match the historic features in materials, design, dimension, texture, and color.
  - If no documentation is available, such as historic photographs or physical evidence including remnant elements, the replacement design shall match the historic feature in material, design, dimension, texture, and color of the architectural style in the historic district.
- Removing non-historic components of a historic storefront that are not consistent with the historic design is permitted if the component has not acquired significance over time.
- Altering the location, number, size, pattern or proportion of historic openings, particularly on primary elevations, is not permitted.



Figure 9. Retained historic commercial storefront on First Street

- New permanent interior partitions that alter the appearance of the historic storefront are not permitted.
- Transparent, clear glazing is permitted for ground-floor storefronts. Reflective coatings or dark tints on storefront glazing is not permitted.
- Retain and preserve historic awnings and canopies.
- Repair existing historic awnings and canopies where feasible, rather than replacing. If replacement is necessary due to deterioration beyond repair, new awnings and canopies shall match the historic features in materials, design, size, color, and operation of those used historically.
- Adding awnings and canopies, where there is no documented evidence of their existence or historic use, is not permitted. New awnings and canopies shall:
  - Match the historic features in materials, design, size, color, and operation of those used historically.
  - Be installed at the same level of those on adjacent buildings.
  - Fit over a building's window opening and/or exactly over the display windows.
  - Use anchors and attachments that do not damage the historic building materials and/or structure.



**Figure 10. Awnings are placed over upper-story windows and are made from materials and designs that match those used historically**

## Exterior Utilities (HVAC, Solar Panels, etc.)

- Exterior utilities or mechanical equipment shall be located behind or to the side of the primary structure and be screened from view from adjacent public rights-of-way through plantings, decorative equipment screen, or other architectural treatment.
- If locating at the rear or side of the historic building is infeasible, the equipment shall be placed at ground level and screened from public view.
- Equipment mounted directly on a historic building shall be attached using the least invasive method, without damaging character-defining features.
- Roof-mounted equipment can be installed on flat roofs provided that the panels are screened from public view by existing parapet walls.
- Solar panels and other rooftop utilities shall not be visible from adjacent public rights-of-way.
  - On flat roofs with parapet walls, solar panels may be installed on the full extent of the roof, provided that the panels are screened from public view by the parapet walls.
  - On sloped roofs, solar panels shall be installed on the rear 50 percent of the roof of the primary building.
  - On corner lots, for buildings with sloped roofs, solar panels shall be installed on the interior 25 percent of the roof of the primary building.
  - If the permitted locations for solar panels cause the installation to be visible from an adjacent public right-of-way, panels shall be configured to the extent feasible parallel to the roof plane, with minimal profile, no roof overhang, and no alteration of the existing roof shape or slope.



**Figure 11. Solar panels mounted on the primary elevation of a historic building (not permitted)**

- Solar panels shall be parallel to the roof plane, shall not extend more than 10 inches above the roof surface, and shall not overhang or alter existing rooflines.
- Solar panels shall be attached to roofs using the least invasive method possible, without damaging character-defining features.

## Signage<sup>5</sup>

- Retain and preserve historic signage.
  - If damaged, historic signage shall be restored and not replaced, unless deteriorated beyond repair.
- Flashing or moving signs are not permitted.
- Acrylic or other plastic materials for a projecting or wall sign are not permitted.



Figure 12. Retained historic signage on E Street

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<sup>5</sup> Refer to City of Marysville Municipal Code Chapter 18.64 for sign standards.



## Site Layout and Streetscape

### Setbacks

- Changes to the front and side setbacks are not permitted. For example, when relocating a historic resource, its new location and orientation shall be consistent with the existing setbacks.
- No parking in the front setback is permitted.

### Fences

- Retain and preserve historic fencing and screening.
- Repair existing historic fences with like and in-kind materials rather than replacing. If replacement is necessary due to deterioration beyond repair, new material shall match historic material in height, shape, scale, color, pattern, and texture.
- New fences at primary street-facing elevations shall not be opaque and shall allow views of the primary façade from the public right-of-way.
- Vinyl, chain link, and plastic fences are not permitted.

### Walkways and Hardscape

- Retain and preserve historic walkways, driveways, and other hardscape features.
  - Historically unpainted walls, curbs, or planters shall not be painted.



**Figure 1312. 101 and 103 C Street retaining the historic zero-foot setback from the sidewalk**

- Historically unpaved front and side yards shall not be paved.
- Repair existing historic hardscape features with like and in-kind materials, rather than replacing. If replacement is necessary due to deterioration beyond repair, new paving or hardscape features shall match the historic features in materials, design, color, texture, and finish.
- Pavement or hardscape features shall not be relocated or resized.
- New private walkways shall not exceed a width of four (4) feet and shall match in materials, design, color, texture, and finish of existing walkways within the property or district.
- Surface parking, which is not required, but if provided, shall be located behind the primary building, or if this is not feasible, to the side of the primary building.
- Service areas shall be located behind the primary building and, where feasible, shall be screened or partially screened from public view by fencing or landscaping.

## Additions and New Construction

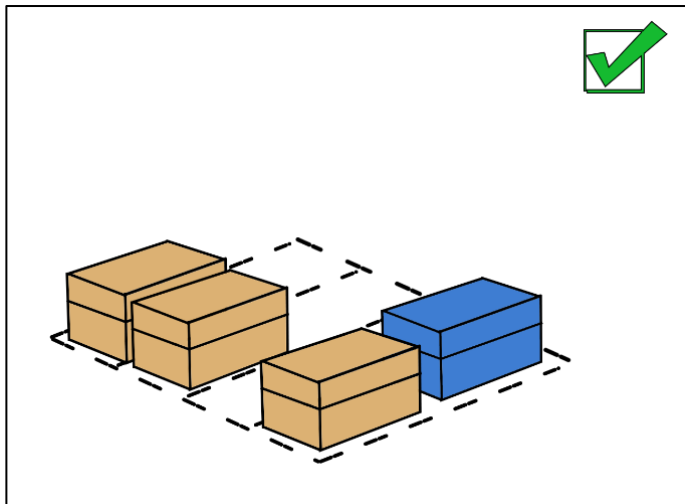
### Additions to Contributing and Qualified Historic Buildings and Properties

- New additions shall be scaled and designed to be subordinate and secondary to the historic building on the same parcel.
  - New additions shall be designed to preserve the existing historic building, be compatible with the character of the historic building, and be smaller in mass, scale, and volume.
- New additions shall be located at the rear or secondary elevations of historic buildings to minimize their visibility from the public right-of-way.
  - If vertical additions are proposed, upper-story additions shall incorporate a clear setback from the street-facing elevation to minimize visibility from the public right-of-way.
  - Additions to side elevations shall incorporate a clear setback from the street-facing elevation to minimize visibility from the public right-of-way.
- The height, mass, scale, and design of new secondary buildings shall be subordinate to the primary historic building located on the same parcel.
  - The height of secondary buildings shall not exceed the height of the primary historic building on the same parcel.
- New additions shall not destroy historic materials, character-defining features, and spatial relationships that characterize the property.

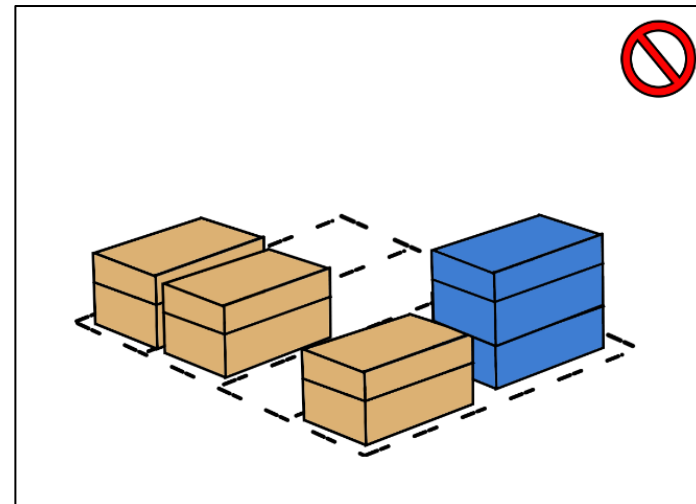


**Figure 1413. The addition to 310 1st Street was constructed on a secondary (rear) elevation and smaller in size and scale to the historic building and not visible from the public right-of-way**

- New additions shall be differentiated from the historic building while maintaining consistency with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the historic property and its environment.
- New additions shall be constructed in such a manner that, if removed in the future, the essential form and integrity of the historic building is unimpaired without irreversible damage to significant features.
- New additions shall use traditional building materials consistent with the style of the historic building or the period of significance of the historic district.
  - The texture, color and detailing of traditional building materials on an addition shall be compatible with the style or period of construction of the main historic building.
- Window and doors openings shall be based on the alignment, rhythm, size, shape, and pattern of openings on the historic building.
- Roofs, including form, pitch, and eave depth shall be similar to the historic building.



**Figure 1514. Detached secondary building (blue) at rear of property is compatible in scale with the historic building on the parcel**



**Figure 1615. Detached secondary building (blue) at rear of property visually dominates the historic building on the parcel**



## **New Construction within a Historic District or Adjacent to a Qualified Historic Building**

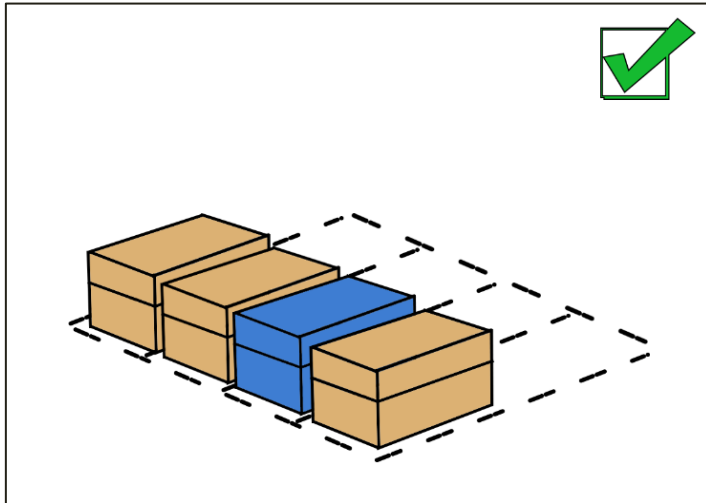
### ***Site Layout and Setbacks***

- The height of new construction shall maintain consistency with the building height of historic Marysville development using the following standards:<sup>6</sup>
  - New buildings constructed on a parcel that shares a property line with a qualified historic building should be no more than 150% of the height of the adjacent qualified historic building. The 150% limit also applies when the property with the proposed building and the property that includes the qualified historic building are separated only by a public right-of-way. The 150% limit does not apply to the reconstruction of a building damaged or destroyed by fire, explosion, or act of God. If the new infill building is adjacent to more than one property containing a qualified historic building, the proposed building should use the tallest of the qualified historic buildings as the baseline.
  - New buildings constructed within a historic district should be no more than 150% of the height of the tallest existing building within the same block, with block defined as including all contiguous parcels that are not separated by a public right-of-way.
- New buildings shall maintain compatibility with the overall design characteristics, massing, scale, and form of adjacent qualified buildings and/or contributing buildings of the historic district.
- Primary building front setbacks shall be within five feet of front setbacks of adjacent qualified historic buildings on the same block.

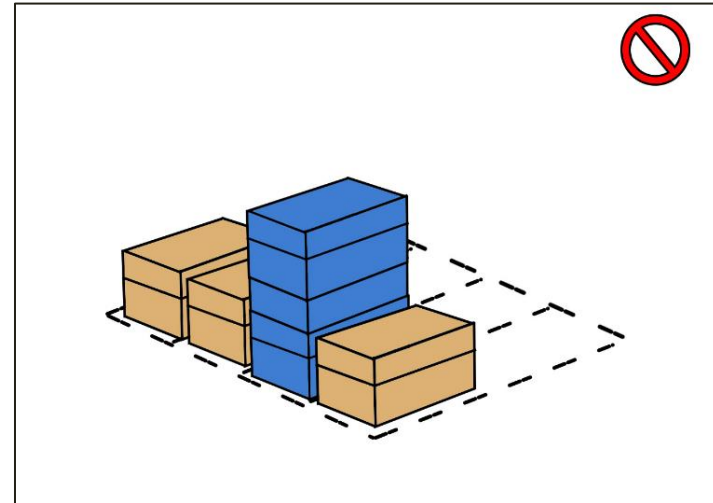
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<sup>6</sup> Building height shall be measured at the plane of the highest point at the top of the roof of the proposed building. Height limit does not apply to mechanical equipment, enclosed space related to recreational use of the roof area, screening, ornamental or symbolic features, lattices or sunshades or landscaping associated with recreational use of the roof area, flag poles, or similar features – with all of the exempted features limited to no more than 10 feet in height.

- The roof form of new construction shall maintain consistency with the roof form of traditional building forms of historic Marysville.



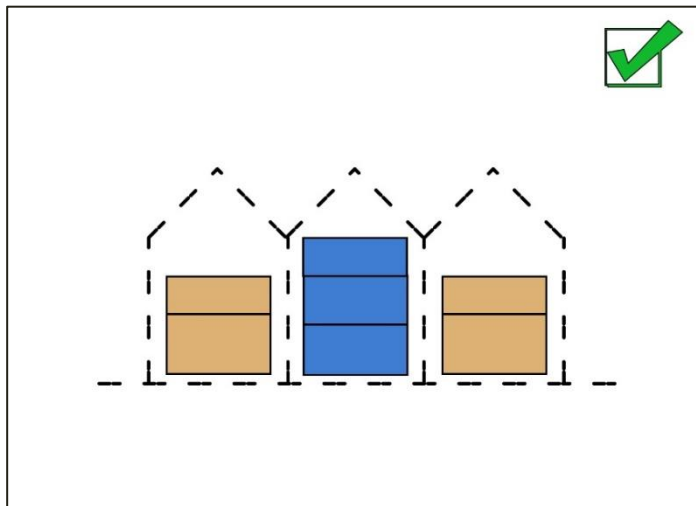
**Figure 1716. Setback of the new infill building (blue) matches the setback of the contributing resources from the primary street-facing elevation from the sidewalk**



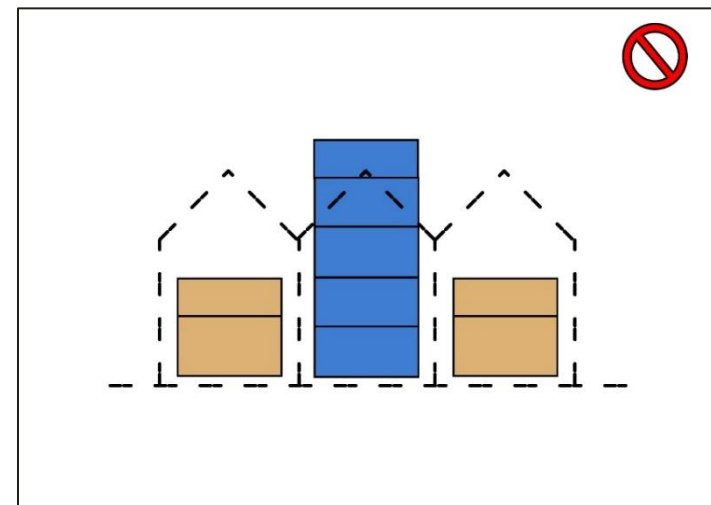
**Figure 1817. Height of infill (blue) does not respect the adjacent historic buildings**

- The use of traditional building materials found on historic buildings in the historic district, such as wood siding and brick, shall be used on new infill construction and maintain compatibility with the size, scale, design, texture, reflectivity, and durability of historic materials used on comparable historic buildings in a modern context.
  - Provide an exterior date identification, such as a date brick or other marker on new construction to assist future generations in the dating of buildings.
- Alternatives to traditional building materials shall be permitted if compatible with the design and appearance of comparable historic features on similar contributing buildings in the historic district.

- New construction shall have a main entrance and façade parallel to and facing the street and window and door openings shall be designed based on the alignment, rhythm, size, shape, and pattern of openings of adjacent historic buildings in a modern context.
  - New infill construction window and door openings shall be based on the alignment, rhythm, size, shape, and pattern of openings of adjacent contributing and/or qualified historic building.
  - New commercial infill with storefronts shall maintain the existing façade alignments of windows and doors as adjacent historic buildings.
- Projects that share a parcel line with a contributing and/or qualified historic building shall be subject to the same requirements of the New Infill Construction in a Historic District with the following modified design standards:
  - No portion of a new building shall encroach into a daylight plane of a residential qualified historic building starting at a point that is 25 feet above the property line and sloping upward at a 45-degree angle towards the center of the lot.



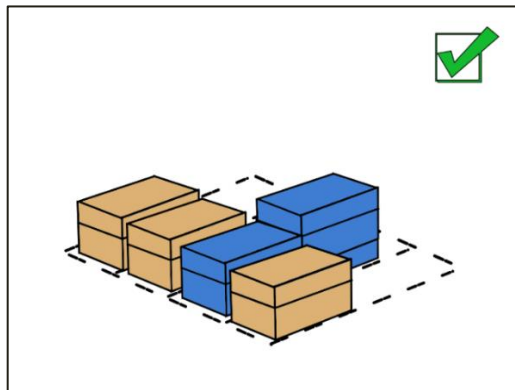
**Figure 19. New infill building (blue) does not encroach into daylight plane of the adjacent residential qualified historic building**



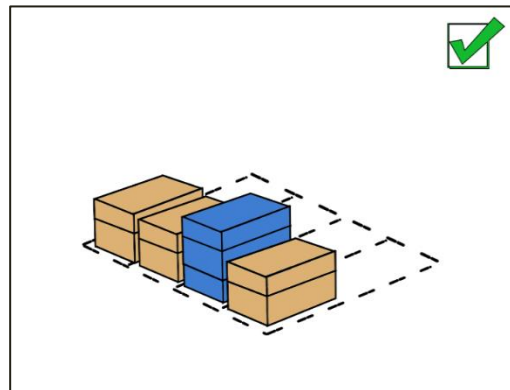
**Figure 20. New infill building (blue) extends into daylight plane of the adjacent residential qualified historic building**

### **Building Features, Utilities, and Streetscape**

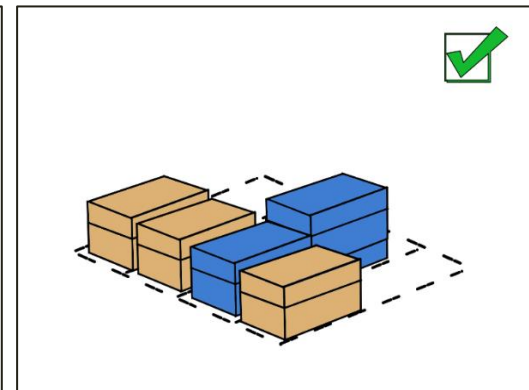
- Projects proposing new construction within a historic district shall be subject to the same requirements of the *Maintenance, Preservation and Rehabilitation of Contributing and Qualified Historic Buildings and Properties* sections for *Building Features and Utilities, Fences, Lighting, and Street Furniture*, with the following additional design standards:
  - Primary facades and entrances shall orient to and be visible from the street.
  - New driveways on street frontages in excess of one-car-width (10' wide) across are not permitted.
  - No parking in the front setback is permitted.
  - Roof features, such as skylights shall not be visible from public rights-of-way.
  - Replicating or copying historical architectural details to create a false sense of history from other buildings is not permitted.



**Figure 2118. Larger infill developments shall be designed into smaller masses that reflect the historic lot pattern and setback and not overwhelm the massing, scale, and form of adjacent contributors**



**Figure 2219. Larger infill developments shall be designed into smaller masses that reflect the historic lot pattern and setback and not overwhelm the massing, scale, and form of adjacent contributors**



**Figure 2320. New infill building next to a qualified historic building does not exceed 150% of height**